

TOWN OF COLUMBINE VALLEY
BOARD OF TRUSTEES MEETING
August 18, 2015

A G E N D A

- | | |
|---|---|
| 1. ROLL CALL | 6:30PM |
| 2. PLEDGE OF ALLEGIANCE | |
| 3. APPROVAL OF MINUTES
July 21, 2015 | Mayor Christy |
| 4. CITIZENS CONCERNS
Columbine Country Club
HOA Representatives
Public at-large | Mayor Christy |
| 5. MAYOR'S COMMENTS | Mayor Christy |
| 6. POLICE DEPARTMENT REPORT | Chief Cottrell |
| 7. TRUSTEE REPORTS:
Building Commissioner
Planning & Development
Public Safety
Public Works
Special Affairs
Finance
Town Administrator | Trustee May
Trustee Best
Trustee Menk
Trustee Newland
Trustee Champion
Trustee Cope
Mr. McCrumb |
| 8. OLD BUSINESS
Trustee Bill #4, Series 2015 Solicitations (2 nd Reading)
Cut Through and Speed Study Results | Mr. Schiller
Mr. McCrumb |
| 9. NEW BUSINESS
Trustee Bill #10, Series 2015 Solicitation Fees (1 st Reading)
Willowcroft Minor Amendment
CCC Combined Approval Process
Set Study Session for Tuesday, September 8, 2015
Purchase of PD Body Cameras | Mr. Schiller
Mr. Kaslon
Mr. Sieber
Mr. Sieber
Chief Cottrell |
| 10. EXECUTIVE SESSION
Conference with the Town Attorney for the purpose of receiving legal advice on specific
legal questions under CRS 24-6-402(4)(b). | |
| 11. ADJOURNMENT | |

TOWN OF COLUMBINE VALLEY
BOARD OF TRUSTEES
Minutes
July 21, 2015

PUBLIC HEARING: 2014 Electric Code

Mayor Christy opened the Public Hearing at 6:15 p.m., in the Conference Room at the Town Hall at 2 Middlefield Road, Columbine Valley, Colorado. Roll call found the following present:

Trustees: Gale Christy, Dave Cope, Jeff May, Richard Champion, Jim Newland
Absent: Mark Best, Bruce Menk
Also present: J.D. McCrumb, Lee Schiller, Phil Sieber, and Jeff Tempas

STAFF REPORT: On behalf of Jim Thelen's absence, Mr. Schiller briefly presented the electric codes to the Trustees.

HOA and PUBLIC COMMENTS: There was no public comment.

TRUSTEE COMMENTS: There were no comments or questions from the Trustees.

ADJOURNMENT: The public hearing was closed at 6:18 p.m.

Mayor Christy called the Board meeting to order at 6:30 p.m., in the Conference Room at the Town Hall at 2 Middlefield Road, Columbine Valley, Colorado. Roll call found the following present:

Trustees: Gale Christy, Dave Cope, Jeff May, Richard Champion, Bruce Menk, Jim Newland
Absent: Mark Best
Also present: J.D. McCrumb, Lee Schiller, Bret Cottrell, Phil Sieber, and Jeff Tempas

MINUTES: The minutes of the June 16, 2015 meeting were approved

CITIZEN CONCERNS: Michael Bratcher, General Manager of Columbine Country Club, introduced himself to the Trustees and provided a brief update on the forthcoming Club renovation.

Ann Ogg, 35 Wedge Way, expressed her concern about a neighbor flying three confederate flags; she was advised by the Town Attorney that the Town cannot prohibit such displays as doing so violates the first amendment rights of the neighbor in question. The Town has no ordinance concerning flags. Mrs. Ogg was advised that the HOA may have a limit as to the number of flags that can be flown at any one time.

MAYOR'S COMMENTS: Mayor Christy introduced and recognized Nick Leibold, Columbine Valley resident and winner of the 2015 Presidents Leadership Award.

POLICE DEPARTMENT:

- Chief Cottrell presented the attached report for June 2015
- Chief Cottrell reported that Officer Ed Kazmirski had resigned to take a position with the Cherry Hills Village Police Department. The search for a new officer is ongoing.
- Chief Cottrell reported that the body camera trial period had ended and recommended to the Board that cameras be purchased in the future for each officer at an estimated cost of \$7,650.

TRUSTEE REPORTS:

Building Commissioner: Trustee May presented the attached report

Planning and Development: Mr. Sieber presented an update to the Board on all current and anticipated projects. The written update is included with the Board packet in records.

Public Safety: Trustee Menk asked that the Body Camera purchase be added to the Board of Trustees Agenda in August for action.

Public Works: Trustee Newland reported that work would begin by the end of the month on this year's road project.

Special Affairs: Trustee Champion thanked the staff for an outstanding 4th of July event.

Treasurer: Mr. Tempas presented the attached financials.

Town Administrator: Mr. McCrumb presented the attached report.

OLD BUSINESS:

- **Trustee Bill #2, Series 2015 Electric Code (2nd Reading):** Trustee May presented for consideration updates to the Town Electric Codes.
ACTION: upon a motion by Trustee May and a second by Trustee Champion, the Board of Trustees unanimously approved Trustee Bill #2, Series 2015 on 2nd Reading.
- **Trustee Bill #3, Series 2015 Cable TV Customer Service Standards (1st Reading):** Trustee Champion and Mr. Schiller presented the customer service standards.
ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #3, Series 2015 on 2nd Reading.

NEW BUSINESS:

- **Century Link Cable TV Franchise Request:** Trustee Champion introduced Mr. John McCormick and Mr. Mark Soltes of Century Link to present the franchise agreement to the Trustees. After the presentation, the Trustees briefly discussed the agreement.
ACTION: upon a motion by Trustee Champion and a second by Trustee Menk, the Board of Trustees unanimously approved the franchise agreement with Century Link.
- **Appointment to the Planning and Zoning Commission:** Mr. Sieber reviewed with the Board the process by which Mrs. Marilyn Meister was selected as the nominee for the Alternate position vacated by Mrs. Anne Larsen. Mayor Christy then reviewed Mrs. Meister's resume.
ACTION: upon a motion by Trustee Champion and a second by Trustee Newland, the Board of Trustees unanimously approved Mrs. Meister's appointment to the Planning and Zoning Commission for a term to end in April 2018.

- **Wild Plum Farm Preliminary Architectural Waiver:** Mr. Sieber presented to the Trustees his request that architectural review not be a requirement for preliminary approval on the 100+ acre Wild Plum Farm development, as the current developer, Hines, would not be building the homes, only developing the site and a builder(s) may not be identified at the time of preliminary consideration.
ACTION: upon a motion by Trustee Menk and a second by Trustee May, the Board of Trustees unanimously approved an exception to Article VII, Section 2A5p, allowing preliminary plan approval without architectural exhibits, for the Wild Plum Farm development by Hines.
- **Trustee Bill #4, Series 2015 Solicitations (1st Reading):** Mr. Schiller presented to the Trustees the need to change the way solicitation is regulated in Columbine Valley due to changing interpretations of the law by state and federal courts.
 - **ACTION: upon a motion by Trustee Menk and a second by Trustee Champion, the Board of Trustees unanimously approved Trustee Bill #4, Series 2015 on 1st Reading.**
- **Trustee Bill #5, Series 2015 Village Park:** Mr. Schiller presented to the Trustees the need to correct an oversight in prior legislation regarding Village Park.
 - **ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #5, Series 2015 on an emergency basis.**
- **Trustee Bill #6, Series 2015 Villas Park:** Mr. Schiller presented to the Trustees the need to correct an oversight in prior legislation regarding Villas Park.
 - **ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #6, Series 2015 on an emergency basis.**
- **Trustee Bill #7, Series 2015 Village Park:** Mr. Schiller presented to the Trustees the need to correct an oversight in prior legislation regarding Doral Park.
 - **ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #7, Series 2015 on an emergency basis.**
- **Trustee Bill #8, Series 2015 Fairway Park:** Mr. Schiller presented to the Trustees the case to create a park based on a longstanding funding practice.
 - **ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #8, Series 2015 on an emergency basis.**
- **Trustee Bill #9, Series 2015 Impact Fees:** Mr. Schiller, along with Mr. Sieber and Mr. McCrumb, reviewed for the Trustees the case for development impact fees. The Trustees briefly discussed the various areas of impact and asked clarifying questions of staff.
 - **ACTION: upon a motion by Trustee Champion and a second by Trustee Cope, the Board of Trustees unanimously approved Trustee Bill #9, Series 2015 on an emergency basis.**

ADJOURNMENT: There being no further business, the meeting was adjourned at 8:27 p.m.

Board of Trustees
July 21, 2015
Minutes
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Submitted by,
J.D. McCrumb, Town Administrator

** All reports and exhibits listed "as attached" are available on the Columbine Valley web site and by request at Town Hall, 2 Middlefield Road.*



BUILDING COMMISSIONER'S MONTHLY REPORT
15-Jul

ADDRESS	PERMIT	PL REV	TAX	OS	TOTAL
10 Driver Lane Tear off and replace roof	\$506.95	\$0.00	\$380.49	\$31.71	\$919.15
25 Brookhaven Rebuild deck	\$1,020.60	\$663.39	\$1,101.75	\$91.81	\$2,877.55
1 Willowcroft Place SFR	\$4,757.15	\$1,486.92	\$8,763.75	\$730.31	\$15,738.13
45 Willowcroft Drive SFR	\$4,533.50	\$1,473.39	\$8,664.09	\$722.01	\$15,392.99
64 Fairway Lane Replace A/C condenser & coil	\$124.60	\$0.00	\$52.50	\$4.38	\$181.48
66 Spyglass Drive 225 Amp Service upgrade	\$124.60	\$0.00	\$53.78	\$4.48	\$182.86
43 Willowcroft re-run Irrigation	\$107.05	\$0.00	\$37.50	\$3.13	\$147.68
29 Niblick Tear off & replace shingles	\$282.55	\$0.00	\$191.10	\$15.93	\$489.58
29 Niblick Tear off replace southside only	\$229.90	\$0.00	\$145.80	\$12.15	\$387.85
4 Brookhaven Trail Furnace A/C combo	\$142.15	\$0.00	\$74.10	\$6.18	\$222.43
10 Arabian Place Install Patio, fireplace	\$633.45	\$411.74	\$528.00	\$44.00	\$1,617.19
Total	\$12,462.50	\$4,035.44	\$19,992.86	\$1,666.09	\$38,156.89

		<u>2014</u>	<u>2014 YTD</u>	<u>2015</u>	<u>2015 YTD</u>
<u>Building Revenue</u>	January	\$21,355.02	\$21,355.02	\$14,742.95	\$14,742.95
	February	\$11,064.70	\$32,419.72	\$18,825.38	\$33,568.33
	March	\$16,061.56	\$48,481.28	\$50,783.31	\$84,351.64
	April	\$11,051.71	\$59,532.99	\$74,019.44	\$158,371.08
	May	\$5,801.62	\$65,334.61	\$6,985.21	\$165,356.29
	June	\$28,682.64	\$94,017.25	\$47,356.29	\$212,712.58
	July	\$71,043.28	\$165,060.53	\$38,156.89	\$250,869.47



**TOWN OF COLUMBINE VALLEY
TOWN ADMINISTRATOR'S REPORT
AUGUST 2015**

MUNICIPAL COURT:

Court Revenue Total:	2013	\$84,804.73
	2014	\$75,466.79

<u>Court Revenue</u>	<u>2014</u>	<u>2014YTD</u>	<u>2015</u>	<u>2015YTD</u>
January	\$5,670.50	\$5,670.50	\$4,120.95	\$4,120.95
February	\$4,160.00	\$9,830.50	\$8,377.50	\$12,498.45
March	\$7,279.50	\$17,110.00	\$8,315.52	\$20,813.97
April	\$6,999.00	\$24,109.00	\$7,540.50	\$28,354.47
May	\$9,258.25	\$33,367.25	\$7,122.00	\$35,476.47
June	\$6,468.25	\$39,835.50	\$6,914.66	\$42,391.13
July	\$9,162.98	\$48,699.23	\$5,201.29	\$47,592.42

HAZARDOUS WASTE: The cities of Englewood, Littleton and Sheridan hold an annual hazardous waste pick up each September for their citizens. This is a service often requested of the Town but that we have not offered in the last several years. Staff is currently in discussions to join this group in 2016 so that we can offer our residents a venue to distribute hazardous materials such as household chemicals, oil and paint. There would be a cost to both the homeowner and the Town. More information will be forthcoming and discussed with the 2016 budget.

NEWSLETTER: The next newsletter will be hitting mailboxes on or around September 8.

VACATION: I will be out of the office from Thursday the 3rd of September returning Monday, September 14th. Dana, Connie, Phil and crew will be available if you need anything.

UPCOMING EVENTS:

- September 26: Shred Event at Town Hall, 9AM – Noon
- October 5: Flu Shots at Town Hall, 7:30 – 9AM and 5-6:30PM
- October 22-24: Dumpster at Town Hall, Noon – Noon

Respectfully Submitted,

J.D. McCrumb
August 18, 2015



Request for Board of Trustee Action

Date: August 18, 2015

Title: Trustee Bill #4, Series 2015: Solicitors

Presented By: Lee Schiller, Town Attorney

Prepared By: Lee Schiller, Town Attorney

Background: The Town currently has an ordinance which regulates solicitors, peddlers, and canvassers who wish to make personal contact with residents of the Town of Columbine Valley at his or her residence without prior invitation or appointment with the resident. In 2005, the Town adopted an ordinance regulating such persons. Included within the ordinance is a section titled o Visit List. Pursuant to this particular section, the Town maintains a list of persons within the Town who do not wish to be contacted by solicitors, peddlers, canvassers and the like which is known as the No Visit List. All residents of the Town are included in the No Visit List unless the resident requests in writing that his or her name be removed. In late June of 2015, the Town received a letter from a local law firm on behalf of Vivant, Inc., which engages in door-to-door solicitation. This law firm asserts that the No Visit List portion of the Town's ordinance unconstitutionally prohibits Vivant's commercial speech. Without getting into the merits of this assertion, the proposed ordinance amends the No Visit List to provide that such a list will be maintained for commercial solicitations and shall be made available on the Town's website. The new section also provides that it is the responsibility of the solicitor to access the website in order to determine which residents are on the No Visit List and which are not. Town residents will now have to request to be on the No Visit List. It is anticipated that the Town will contact the residents of Columbine Valley and invite them to be on the No Visit List.

Attachments: Trustee Bill #4, 2015

Fiscal Impacts: The implementation and maintenance of changes will consume minimum staff time, and a one-time mailing alerting homeowners of the changes will cost several hundred dollars. The fees generated by solicitor licenses will not offset the cost of administering the program.

Staff Recommendations: Approve as presented

Recommended Motion: "I move to approve Trustee Bill #4, Series 2015 on 2nd Reading"

TOWN OF COLUMBINE VALLEY

TRUSTEE BILL NO. 4
SERIES OF 2015

INTRODUCED BY
TRUSTEE: BRUCE MENK

A BILL
FOR
AN ORDINANCE AMENDING CHAPTER 5.08 OF THE MUNICIPAL CODE CONCERNING
SOLICITORS, PEDDLERS, AND ITINERANTE MERCHANTS

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE
TOWN OF THE TOWN OF COLUMBINE VALLEY, COLORADO AS FOLLOWS:

Section 1. Section 5.08.050 of the Municipal Code of the Town of Columbine Valley is amended to read as follows:

5.08.050 No Visit List. The Town Clerk shall maintain a list of persons within the Town who restrict visits to their residential property (including their leasehold, in the place of a tenant), for commercial solicitations, which shall be known as the "No Visit List". The Town Clerk shall make available on the Town website a copy of said No Visit List. It is the responsibility of any person required to register pursuant to Section 5.08.020 of the Municipal Code to verify the addresses contained on the No Visit List prior to engaging in solicitation within the Town. Such verification may be made by reviewing the No Visit List maintained on the Town's website.

Section 2. Should any section, clause, sentence, part or portion of this Ordinance be adjudged by any court to be unconstitutional or invalid, the same shall not affect, impair, or invalidate the Ordinance as a whole or any part thereof other than the part or portion declared by such court to be unconstitutional or invalid.

Section 3. The Town Clerk shall certify the passage of this Ordinance and cause notice of its contents and passage to be published.

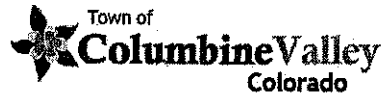
Section 4. This Ordinance shall be in full force and effect upon the expiration of thirty (30) days after the publication of this Ordinance in the Littleton Independent, Littleton, Colorado, said newspaper being a weekly newspaper duly qualified for publishing legal notices and advertisements within the meaning of the laws of the State of Colorado.

Introduced as Trustee Bill No. 4, Series of 2015, at a regular meeting of the Board of Trustees for the Town of Columbine Valley, held at the Columbine Valley Town Hall, located at 2 Middlefield Road, Columbine Valley, Arapahoe County, Colorado, on the 21st day of July 2015, passed by a vote of six for and none against on first reading; passed on second reading at a regular meeting of the Board of Trustees held at the Columbine Valley Town Hall, Arapahoe County, Colorado by a vote of _____ for and _____ against on the 18 day of August 2015, at 6:30 p.m. and order published in the Littleton Independent on the 27 day of August, 2015.

Gale Christy, Mayor

ATTEST:

JD McCrumb,
Clerk of the Town of Columbine Valley



Request for Board of Trustee Action

Date: August 18, 2015

Title: Cut Through and Speed Study Results

Presented By: J.D. McCrumb, Town Administrator

Prepared By: Matt Brown, Stolfus and Associates

Background: In March of this year, residents along Fairway Lane approached the Trustees about a speeding and cut-through problem they observed along Fairway between Platte Canyon and Club Lane. After the CVPD conducted an informal study, and provided the HOA the equipment to do the same, the Trustees engaged Stolfus and Associates to confirm the conclusions that there was not a speeding or cut-through problem along Fairway Lane. Stolfus also investigated cut-through traffic in the Village and Brookhaven at the Trustees request.

Attachments: Memo from Matt Brown with study results
Map indicating location of speed and license plate captures

Fiscal Impacts: None

Staff Recommendations: None

Recommended Motion: No Action Required



July 20, 2015

J.D. McCrumb
Town Administrator
Town of Columbine Valley, Colorado
2 Middlefield Road
Columbine Valley, CO 80123

Re: Results of Speed and Cut-Thru Traffic Studies

Mr. McCrumb:

Stolfus & Associates, Inc. (Stolfus) have completed the speed and cut-thru traffic studies requested by the Town of Columbine Valley. All traffic data was collected between June 16th and June 18th. Prior to the collection of data, Mr. Brian Smith of the Columbine Valley Country Club confirmed that there were no organized events occurring at the club that would generate higher than normal traffic volumes along Fairway Lane.

Speed Study

The speed study was conducted along eastbound Fairway Lane entering the Town of Columbine Valley. The location of the study is indicated on the attached map.

The following provides a summary of the speed study results:

Number of Observations: 2,756
Average Speed: 25.6 MPH
85th Percentile Speed: 29.2 MPH

Typically, the posted speed limit is set at the 85th percentile speed based on the presumption that most drivers travel at a speed that is reasonable and prudent for the conditions. Some discretion is permitted when setting speed limits (typically they are set at 85th percentile speed +/- 5 MPH).

Based upon the speed study, a 25 MPH posted speed limit is appropriate.

Data from the speed study is also attached.

Cut-thru Traffic Study

A license plate survey was conducted on June 17th and June 18th at the locations shown on the attached map. The purpose of the survey was to determine the extent to which northbound Platte Canyon Road traffic destined for eastbound Bowles Avenue is "cutting thru" Town to

bypass congestion at the Platte Canyon Road / Bowles Avenue intersection. Congestion and traffic patterns are most conducive to cut-thru behavior during the weekday a.m. peak hour; therefore, the study was conducted between 7 a.m. and 9 a.m. on both days. The results are shown in Table 1 (raw data is also attached).

Table 1
Results of License Plate Matching Study

Street	Date	Collected Plates	Matches	
			Middlefield Road	Brookhaven Lane
Fairway Lane	6/17/2015	128	6	0
	6/18/2015	146	6	1
Village Court	6/17/2015	16	1	0
	6/18/2015	22	4	0

Along Fairway Lane, a total of 274 license plates were recorded entering Town between 7 and 9 a.m. Of these, 12 matches were recorded with vehicles leaving Town via Middlefield Road. One match was recorded using Brookhaven Lane.

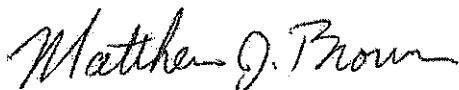
A total of 38 license plates were recorded entering Town via Village Court. Five matches were recorded leaving Town via Middlefield Road.

Based upon the small number of license plate matches, cut thru traffic along the subject roadways does not appear to be a significant problem for the Town.

Thank you for the opportunity to conduct this study for the Town of Columbine Valley. Please let me know if I can be of further assistance or if there are any questions regarding the results.

Regards,

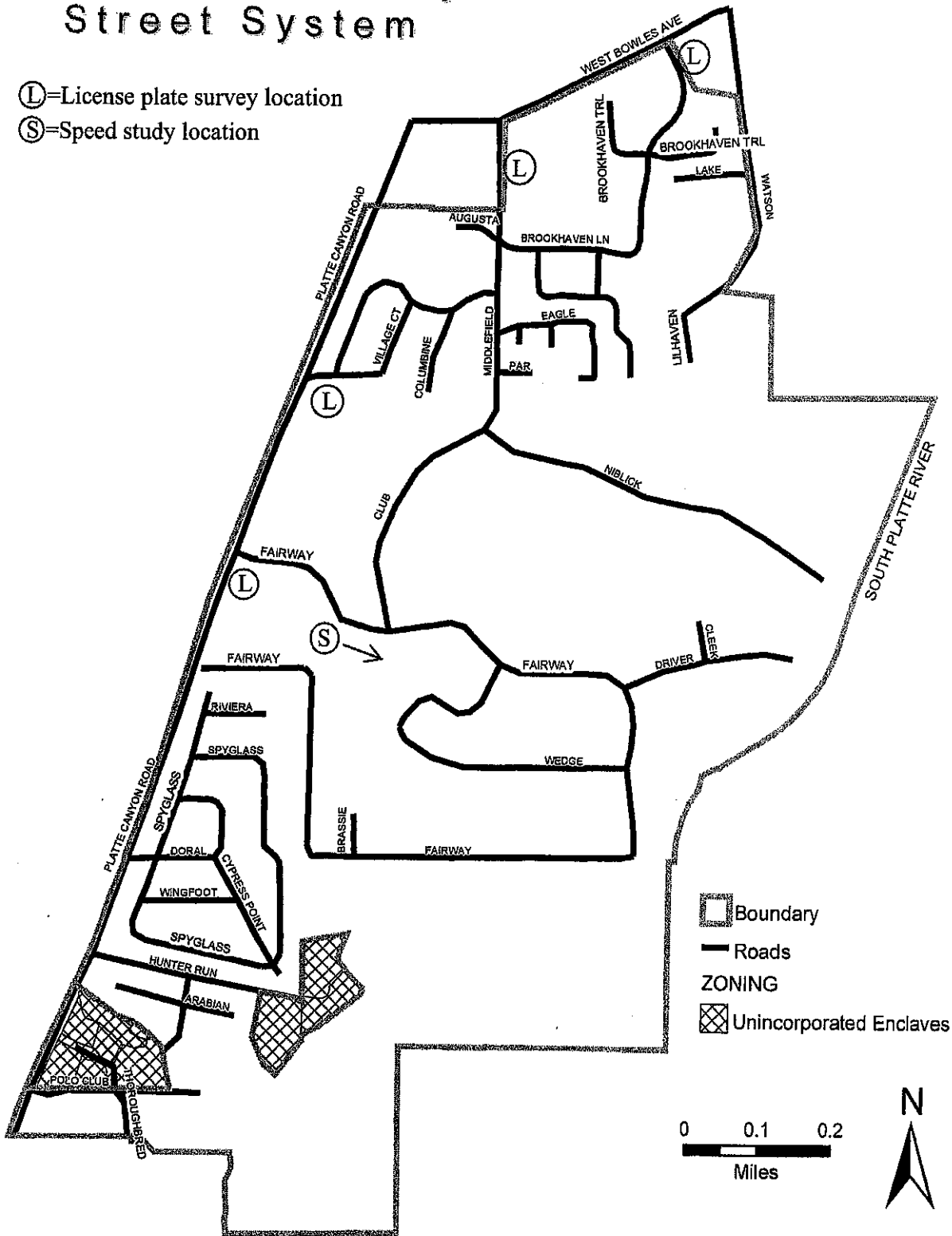
STOLFUS & ASSOCIATES, INC.



Matthew J. Brown, P.E.
Senior Transportation Engineer

Map D Columbine Valley Street System

Ⓛ=License plate survey location
 Ⓢ=Speed study location





Request for Board of Trustee Action

Date: August 18, 2015

Title: Trustee Bill #10, Series 2015: Solicitor Fees

Presented By: J.D. McCrumb, Town Administrator

Prepared By: Lee Schiller, Town Attorney

Background: Last month the Trustees approved on 1st reading Trustee Bill #4 amending the municipal code regarding solicitors. With these changes, an increase in the number of solicitors in Columbine Valley is anticipated, as are the costs to administer the solicitor permit process and maintain the No Visit List.

The proposed ordinance sets the fees for applicable solicitors at \$20.00 per month and \$50.00 per year and requires all solicitors operating in Columbine Valley to provide government issued photo ID and submit to a background check. All these provisions are in line with many other municipalities in the state and region.

Attachments: Trustee Bill #10, Series 2015

Fiscal Impacts: Increase in fees collected by the Town from zero. The fees collected will not be enough to cover costs associated with starting this program, but once up and running are expected to cover the cost with annual operation.

Staff Recommendations: Approve as presented

Recommended Motion: "I move to approve Trustee Bill #10, Series 2015 on 1st Reading."

TOWN OF COLUMBINE VALLEY

TRUSTEE BILL NO. 10
SERIES OF 2015

INTRODUCED BY
TRUSTEE: BRUCE MENK

A BILL
FOR

AN ORDINANCE AMENDING CHAPTER 5.08 OF THE MUNICIPAL CODE CONCERNING
SOLICITORS, PEDDLERS, AND ITINERANTE MERCHANTS

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF TRUSTEES OF THE
TOWN OF THE TOWN OF COLUMBINE VALLEY, COLORADO AS FOLLOWS:

Section 1. Section 5.08.030 of the Municipal Code of the Town of Columbine Valley is amended to read as follows:

5.08.030 Fees.

A. For a Peddler acting on behalf of a merchant otherwise licensed to do business within the Town – No Fee.

B. For a Peddler acting on behalf of a merchant not otherwise licensed to do business within the Town – A Fee for up to one month, \$20.00; for one year, \$50.00.

C. For a Solicitor (including a commercial solicitor advertising an event, activity, good or service for purchase at a location away from the residence) – A Fee for up to one month, \$20.00; for one year, \$50.00.

D. For a Canvasser – No Fee.

Section 2. New paragraphs H, I, J, K, L and M shall be added to Section 5.08.040 of the Municipal Code of the Town of Columbine Valley as follows:

5.08.040 Contents of Registration.

H. Two (2) identical photographs of the applicant which reasonably identify the applicant; such photographs of the applicant to measure two (2) inches by two (2) inches.

I. A statement as to whether or not the applicant;

1. has been convicted of any felony, misdemeanor or ordinance violation (other than a traffic violation), and if so, the nature of the offense or violation, the penalty or punishment imposed, the date when and place where such offense occurred, and the pertinent details thereof; or

2. has been institutionalized for mental illness which caused acts of violence against the person or property of another; or
3. is required to be registered as a sex offender or as a sexual predator and the nature of the offense or the punishment or penalty assessed therefor, in this or any other state.

J. Names, addresses and telephone numbers of former places of employment of the applicant during the previous two years, if any.

K. All licenses currently held or previously held by the applicant with the five (5) years preceding the date of application related to soliciting or a similar business endeavor, noting any nonrenewal, suspension or revocation by the issuing authority, and the pertinent details thereof;

L. A statement as to whether a civil judgment has ever been entered against the applicant or, to the applicant's knowledge, the organization or business represented by applicant, for fraud, deceit or misrepresentation and, if so, the full details thereof.

M. Authorization for the Town Clerk to conduct a background check, to verify information disclosed on the application.

Section 3. The following sections of Chapter 5.08 shall be renumbered as follows:

Section 5.08.050 No Visit List, shall be renumbered as: 5.08.060.

Section 5.08.060 Distribution of Hand Bills and Commercial Fliers, shall be renumbered as: 5.08.070.

Section 5.08.070 General Prohibitions, shall be renumbered as: 5.08.080.

Section 5.08.080 Exceptions, shall be renumbered as: 5.08.090.

Section 5.08.090 Violations, shall be renumbered as: 5.08.100.

Section 4. Section 5.04.050 is amended in its entirety to read as follows:

Section 5.04.050 Registration; grounds for denial.

A. The Town Clerk may deny registration for any of the following reasons:

1. Any person against whom a judgment based upon, or a conviction for, misrepresentation, fraud, deception, breach of warranty or breach of contract

in the Town or elsewhere has been entered within the five (5) years preceding the date of application.

2. Failure to comply with this Chapter or violation of any ordinance applicable to his or her permitted activities.
3. Failure to obtain a business license or contractor's license as required by the Town or failure of the applicant, his or her supervisor or his or her employer to remit any sales tax due the Town.
4. Registration as a sex offender or as a sexual predator, in this or any other state, or conviction of any crime that requires such registration.
5. Felony convictions for crimes against the person or property of another,
6. Institutionalization for mental illness which caused acts of violence against the person or property of another; provided, however, that such felony convictions or institutionalization occurred within the five (5) years preceding the date of application. For the purposes of this Section:

Crimes or acts against the property of another shall include: theft, burglary, breaking and entering, larceny and other similar felonies involving moral turpitude by whatever name.

Crimes or acts of violence against the person or another shall include: homicide, attempted homicide, rape, attempted rape, sexual assault, assault, battery and other similar felonies involving moral turpitude by whatever name.

7. Any false, misleading or fraudulent statement on an application, or when an applicant has omitted pertinent information on the application for registration.
8. The applicant is a person whose character and record are such as not to warrant the Town Clerk's confidence that he or she will conduct the business of soliciting lawfully, honestly and fairly or without resorting to duress, coercion, intimidation or harassment of any person being solicited for business or other acts of violence or force against persons or property.
9. Any person who has been denied registration or had their registration revoked pursuant to this Chapter within the previous year, unless the applicant can and does show to the satisfaction of the Town Clerk that the reasons for such earlier denial or revocation no longer exist.

B. In making a determination pursuant to subsection A above, when considering a criminal or ordinance violation conviction or judgment, the Town Clerk shall be

governed by the provisions of C.R.S. § 24-5-101, pertaining to the effect of criminal convictions on employment rights. The Town Clerk shall also give consideration to the following criteria:

1. The reliability of any source as to character and record and any corroboration of any such evidence;
2. The nature of any criminal conviction or ordinance violation or any judgment involving fraud, deceit or misrepresentation, including the classification of any felony or misdemeanor conviction; length of time incarcerated or severity of remedy or penalty imposed; mitigating or aggravating factors involved; subsequent record of conduct, including educational achievements and work history; subsequent convictions or parole or probation violations; and the correlation, if any, between the illegal or fraudulent activity and the solicitor registration for which application has been made; and
3. Any evidence presented tending to show the applicant's rehabilitation as being a law-abiding and productive member of society.

C. Persons whose applications for registration have been denied shall be notified in writing of the reason for such denial within five (5) business days of receipt of application for registration by the Town Clerk. Upon written request to the Town Clerk, applicants that have been denied are entitled to an administrative review of the denial by the Town Administrator or his or her designee. The Town Administrator or his or her designee shall determine whether the reasons for registration denial in fact exist, and shall notify the applicant in writing of said determination within five (5) business days of receipt of written request for administrative review by the Town Administrator or his or her designee.

Section 5. Should any section, clause, sentence, part or portion of this Ordinance be adjudged by any court to be unconstitutional or invalid, the same shall not affect, impair, or invalidate the Ordinance as a whole or any part thereof other than the part or portion declared by such court to be unconstitutional or invalid.

Section 6. The Town Clerk shall certify the passage of this Ordinance and cause notice of its contents and passage to be published.

Section 7. This Ordinance shall be in full force and effect upon the expiration of thirty (30) days after the publication of this Ordinance in the Littleton Independent, Littleton, Colorado, said newspaper being a weekly newspaper duly qualified for publishing legal notices and advertisements within the meaning of the laws of the State of Colorado.

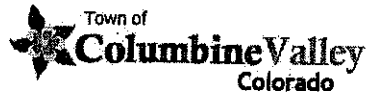
Introduced as Trustee Bill No. 10, Series of 2015, at a regular meeting of the Board of Trustees for the Town of Columbine Valley, held at the Columbine Valley Town Hall, located at 2 Middlefield Road, Columbine Valley, Arapahoe County, Colorado, on the 18th day of August, 2015, passed by a vote of _____ for and _____ against on first reading; passed on second reading at a regular meeting of the Board of Trustees held at the Columbine Valley Town Hall,

Arapahoe County, Colorado by a vote of _____ for and _____ against on the _____ day of September 2015, at 6:30 p.m. and order published in the Littleton Independent on the _____ day of _____ 2015.

Gale Christy, Mayor

ATTEST:

JD McCrumb,
Clerk of the Town of Columbine Valley



Request for Board of Trustee Action

Date: August 18, 2015

Title: Willowcroft 1st Administrative Amendment

Presented By: Brent Kaslon, Assistant Town Planner

Prepared By: Brent Kaslon, Assistant Town Planner

Background: This administrative amendment on the Final Development Plan and Plat for the Willowcroft Manor neighborhood is being complete to correct minor errors found in the plans as well as to update the plans to correctly show the items that were changed during the construction.

Attachments: Staff Report – Willowcroft 1st Administrative Amendment
Amended Final Development Plan
Amended Final Plat

Fiscal Impacts: NA

Staff Recommendations: Approve as presented

Recommended Motion: “I move to approve the 1st Willowcroft Administrative Amendment for Willowcroft Manor and the Minor Re-subdivision as presented”

or

“I move to approve the 1st Willowcroft Administrative Amendment for Willowcroft Manor and the Minor Re-subdivision with the following changes....”

1st Administrative Amendment to the Final Development Plan Willowcroft Manor

Resubdivision of the Final Plat of Willowcroft Manor

I. Purpose

This administrative amendment on the Final Development Plan and Plat for the Willowcroft Manor neighborhood was in part due to the changes involved with typical construction period changes. The changes being addressed also fix minor errors and omissions.

These changes include:

1. An update to the location/alignment of walls, gates, Willowcroft Monument, bollards, etc. throughout the site.
2. An update of the street lighting details and plan.
3. A change to the maintenance designation in Tract E from Columbine Valley to the HOA.
4. A new easement for the sanitary line through Tract C to Lot 42.
5. An update to the architectural elevations in the final plan to reflect models being constructed.
6. An update to the encroachments to include a maximum distance architectural features such as gutters, window wells, cantilevers, chimneys, bay windows, air handling units, patios and decks can extend out of building envelope. The applicant has proposed an 8' front/rear encroachment and a 4' side yard encroachment.
7. An update the plans to show the materials used in the emergency access.
8. An update to the town wall details.
9. An update to the plat to show dedicated ROW reception numbers and roadway changes made during construction.
10. An update to the height allowed on Lot 42. This was never stated in the plans. The height has been changed to 35'. This is to be consistent with Brookhaven Estates.

II. Criteria for Administrative Amendments

- A. A minor amendment to an approved preliminary development plan or plat, an approved final development plan or plat may be initiated by the owner of all or a portion of the property, or, by the Board of Trustee's when the Board has determined that the amendment is in the public interest.
- B. Criteria

The minor amendment process may only be used for amendments, changes and revisions to a preliminary or final plan or final plat that has been determined to be of a minor engineering, planning or administrative nature that meet one or more of the following criteria:

1. All involved lands must be part of a previously approved plan or plat.
2. No additional lot, parcel or building site is created.
3. The lot or parcel areas, or street frontage, shall not be reduced by more than 10 percent.
4. The revisions do not conflict with any other ordinances, regulations, codes or rules of law of the Town of Columbine Valley or the State of Colorado.
5. The revisions do not conflict with any major requirement or condition of the approved final Planned Development plan.
6. Changes consist of typographical and spelling errors or transpositions, incorrect seal, incorrect dates, monumentation incorrectly noted or drawn, incorrect or missing interior bearing(s) and/or dimension(s) on the drawing, or missing or incorrectly displayed arrows or symbols.
7. The revisions are street name changes only.
8. The revision is a plan title change only.

III. Finding

The amendment meets the required criteria involved with the processing for minor amendments.

The minor amendment to the approved final development plan and plat was initiated by the Board of Trustees. The Board has determined that the amendment is in the public interest.

The criteria met includes:

1. All involved lands are a part of a previously approved plan or plat.
2. No additional lot, parcel or building site is created.

3. The revisions do not conflict with any other ordinances, regulations, codes or rules of law of the Town of Columbine Valley or the State of Colorado.
4. The revisions do not conflict with any major requirement or condition of the approved final Planned Development plan.
5. Changes consist of typographical and spelling errors or transpositions, incorrect seal, incorrect dates, monumentation incorrectly noted or drawn, incorrect or missing interior bearing(s) and/or dimension(s) on the drawing, or missing or incorrectly displayed arrows or symbols.

The changes made to the plan/plat were to correct minor errors found in the plans as well as to update the plans to correctly show the items were changed due to typical construction period changes.

IV. RECOMMENDATION

Based on the finding that the request meets all the criteria for Minor Plan Amendments and Minor Subdivision Amendments, the staff recommends approval.

Motion: Move to approve the 1st Minor Administrative Amendment for Willowcroft Manor and the Minor Resubdivision of Willowcroft Manor.

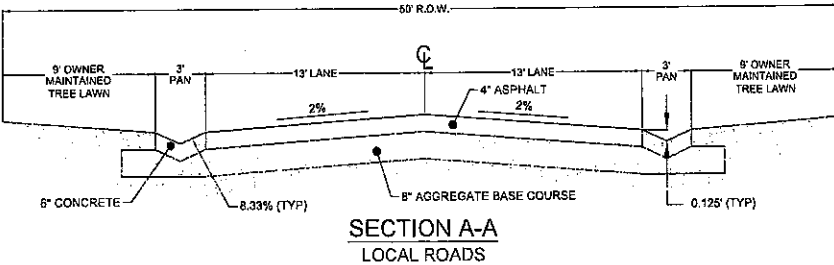
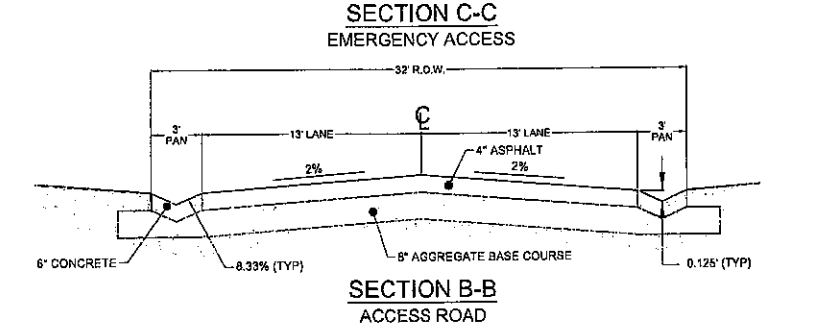
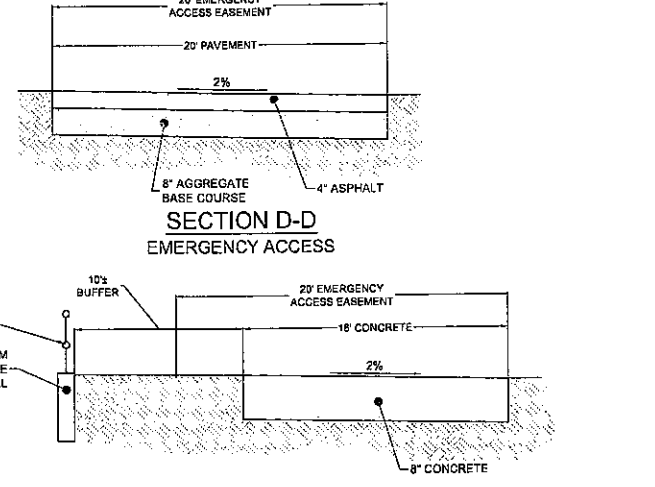
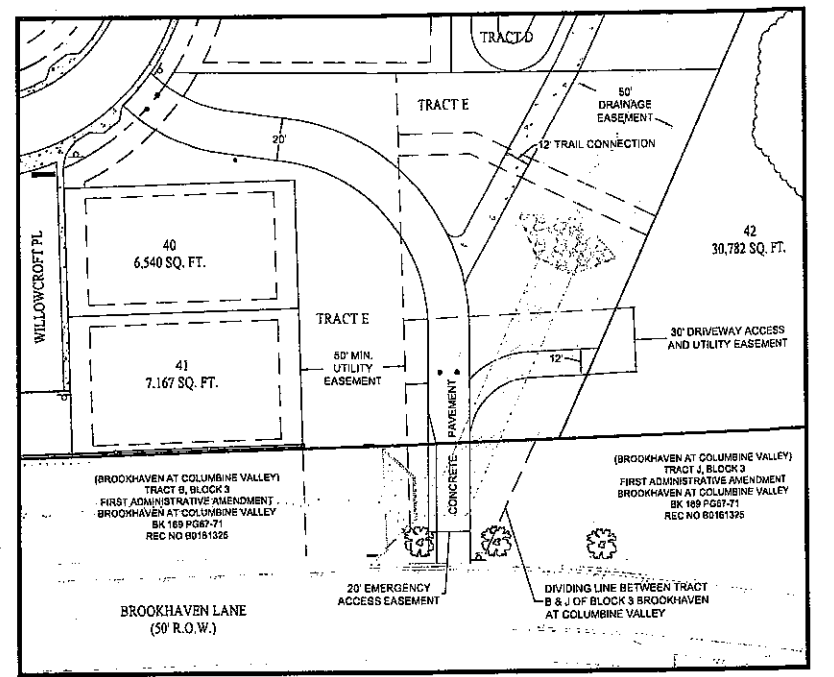
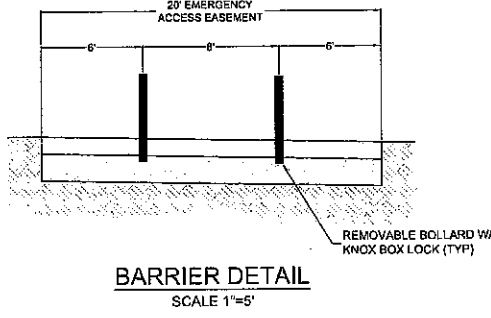
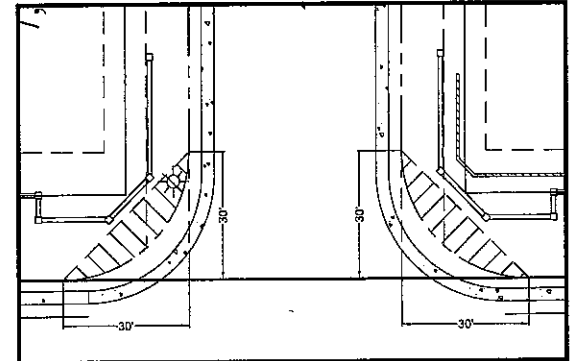
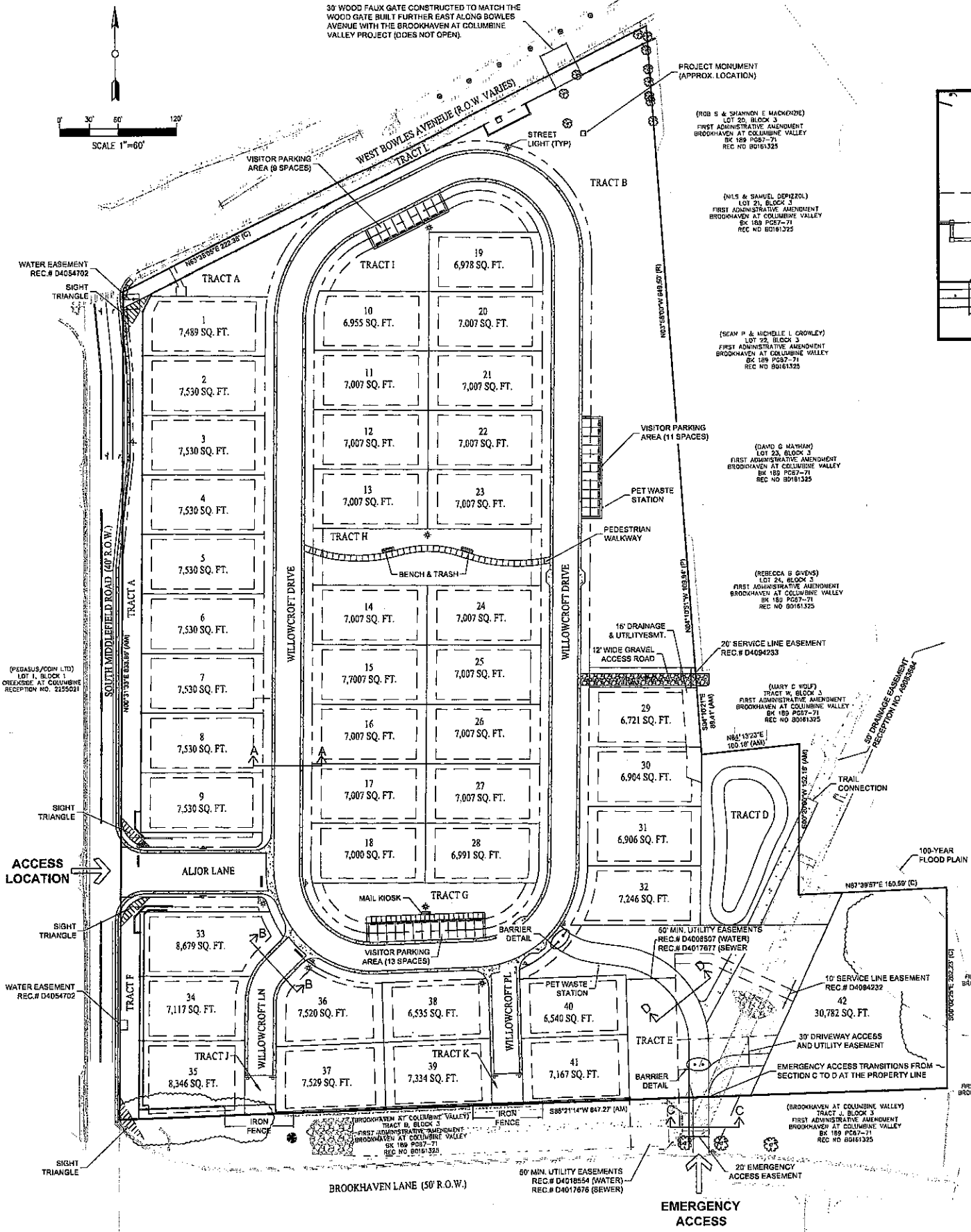
WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

TOWN OF COLUMBINE VALLEY, COLORADO

JULY 16, 2015



WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

TOWN OF COLUMBINE VALLEY, COLORADO
JULY 16, 2015

GENERAL NOTES

- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE OWNER WITH AN ACCURATE, SAFE, AND TECHNICALLY SOUND PROJECT. ALL ELEMENTS SHOWN OR IMPLIED BY THE DRAWINGS, IF NOT SPECIFICALLY DETAILED OR SPECIFIED, SHALL BE INSTALLED PER UNIFORM BUILDING CODES, MANUFACTURERS RECOMMENDATIONS, COLUMBINE VALLEY STANDARDS AND SPECIFICATIONS, STANDARD INDUSTRY PRACTICES, WHERE APPLICABLE AS APPROVED BY THE OWNER.
- THESE DRAWINGS AND DOCUMENTS ARE SUBMITTED TO TAYLOR MORRISON FOR REVIEW AND APPROVAL. PRIOR TO ANY RELEASE FOR BIDDING OR CONSTRUCTION, CONTRACTORS SHALL RECEIVE ALL BID INFORMATION, INSTRUCTIONS, BID FORMS, GENERAL TERMS AND CONDITIONS AND ALL OTHER REQUIRED CLARIFICATION FROM THE OWNER. THE CONTRACTOR WILL ALSO BE REQUIRED TO COORDINATE AND CORRESPOND WITH THE OWNER, AND SUB-CONTRACTORS ON THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE TO OBTAIN AND COORDINATE ALL PERMITS NECESSARY FOR CONSTRUCTION. THE OWNER/DEVELOPER IS RESPONSIBLE FOR ALL PAYMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY SITE CONDITIONS, INCLUDING EXISTING GRADING, UTILITY, BUILDINGS AND TREES. THE EXISTING SURVEY IS SHOWN ON THE DRAWINGS FOR CONTEXTUAL INFORMATION ONLY AND SHOWN TO PROVIDE GENERAL INFORMATION. THE CONTRACTOR SHALL NOTIFY THE OWNERS/DEVELOPERS OF ANY DISCREPANCIES. THE CONTRACTOR SHALL ALSO VERIFY THAT GRADES ARE PLUS/MINUS ONE TENTH OF FINAL LANDSCAPE PLANS PRIOR TO BEGINNING LANDSCAPE OR IRRIGATION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR UTILITY LOCATIONS PRIOR TO EXCAVATION.
- CONTRACTOR SHALL REFER TO "OTHER RELATED DRAWINGS" FOR ALL OTHER RELATED IMPROVEMENTS THAT WILL IMPACT THIS PROJECT AND REQUIRE COORDINATION, INCLUDING BUT NOT LIMITED TO ARCHITECTS PLANS, CIVIL PLANS AND SURVEYOR PLANS.
- ALL CONTROL POINTS MUST REMAIN IN PLACE DURING CONSTRUCTION. IF DESIGN AND CONSTRUCTION WARRANT MODIFICATION, CONTROL POINTS MUST BE DOCUMENTED AND RECORDED BY A PROFESSIONAL SURVEYOR. CONTRACTOR SHALL NOT DISTURB PAVING, LIGHTING, LANDSCAPE, OR IRRIGATION CURRENTLY IN PLACE UNLESS NOTED ON THE DRAWINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING ALL INSPECTIONS NECESSARY BY COLUMBINE VALLEY.
- THESE DRAWINGS DO NOT SPECIFY SAFETY MATERIALS, STAFFING, EQUIPMENT, METHODS, STAGING, OR SEQUENCING OF CONSTRUCTION. CONTRACTOR SHALL DIRECT AND IMPLEMENT SAFETY OPERATIONS, STAFFING, AND PROCEDURES TO PROTECT THE OWNER, NEW IMPROVEMENTS, PROPERTY, CONTRACTORS, AND THE PUBLIC.
- TAKE OFF AND QUANTITY ESTIMATES ARE PROVIDED FOR GENERAL INFORMATION AS REQUIRED FOR APPROVAL. THE CONTRACTOR IS RESPONSIBLE TO VERIFY ALL QUANTITIES. IN THE CASE OF DISCREPANCIES, THE DRAWINGS TAKE PRECEDENCE OVER THE LABELS SHOWN ON PLANS.
- ANY SITE IMPROVEMENTS REQUIRING REMOVAL UNDER THIS CONTRACT SHALL BE PROPERLY AND LEGALLY DISPOSED OF OFF-SITE.
- CONTRACTOR SHALL FURNISH SAMPLES OF MATERIALS UPON REQUEST BY OWNER.

HARDSCAPE AND SITE NOTES:

- ALL CONCRETE SHALL BE LAID OUT AND APPROVED BY THE OWNER 48 HOURS PRIOR TO POURING. ALL FORM ALIGNMENT SHALL BE STRAIGHT AND EVEN, WITH SMOOTH AND CONTINUOUS CURVES AND WITHOUT ABRUPT CHANGES OR BENDS. JOINTS NOT INCLUDED ON THE PLANS SHALL BE EVENLY SPACED, UNOBTRUSIVE AND INSTALLED PER LOCAL CODES AND SPECIFICATIONS.
- ALL WALKS AND PATHS SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
- ALL CONCRETE SHALL BE STANDARD GRAY, BROOM FINISH.
- CONTRACTOR SHALL REFER TO CIVIL DRAWINGS FOR ALL ROADWAY, GRADING, WALLS AND OTHER IMPROVEMENTS THAT REQUIRE COORDINATION.

PLANTING NOTES:

- ALL PLANT MATERIALS SHALL BE OF THE SIZE, VARIETY, AND SPECIES DESIGNATED IN THE CONTRACT. IN HEALTHY CONDITION WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS, AND SHALL CONFORM WITH THE CURRENT "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI).
- PLANT QUANTITIES TO BE BASED UPON PLANS. CONTRACTOR TO NOTIFY OWNER SHOULD SPECIFIED PLANT QUANTITIES APPEAR INCONSISTENT WITH SITE CONDITIONS.
- PLANT SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT WRITTEN APPROVAL BY LANDSCAPE ARCHITECT OR OWNER.
- CONTRACTOR SHALL PROVIDE SAMPLES OF ALL NON-LIVING LANDSCAPE MATERIALS FOR APPROVAL BY THE OWNER PRIOR TO COMMENCING WORK.
- ALL PLANT MATERIAL SHALL BE PLACED ACCORDING TO THE PLANTING PLANS, OR AS DIRECTED BY THE OWNER. TREE LOCATIONS AND SHRUB BED LAYOUT SHALL BE APPROVED BY THE OWNER PRIOR TO PLANTING.
- PLANTS SHALL BE INSTALLED IMMEDIATELY UPON DELIVERY TO SITE. IF THIS IS NOT POSSIBLE, PLANTS SHALL BE HELED IN AND WATERED TO PREVENT DEHYDRATION.
- ALL PLANTS SHALL BE WATERED THOROUGHLY IMMEDIATELY AFTER PLANTING, ALLOWING WATER TO FILL THE PLANTING HOLE. SHOULD SOIL SETTLING OCCUR, BACKFILL PLANTING HOLE WITH LOOSE SOIL TO BRING LEVEL WITH ROOT COLLAR. A 3" DIAMETER MOUND OF SOIL SHALL BE FORMED AROUND EACH NEWLY PLANTED TREE TO CREATE A SHALLOW SAUCER.
- WINTER PROTECTION AND WATERING OF ALL PLANT MATERIAL SHALL BE PROVIDED AS NECESSARY TO MAINTAIN PLANT HEALTH.
- PRUNE ALL DEAD OR DAMAGED BRANCHES ACCORDING TO STANDARD HORTICULTURAL PRACTICE IMMEDIATELY FOLLOWING PLANTING. REMOVE ALL CLIPPINGS FROM THE SITE.
- ALL PLANT TAGS SHALL REMAIN IN PLACE UNTIL INSPECTION BY THE OWNER. FOLLOWING INSPECTION, REMOVE ALL PLANT TAGS AND OTHER EXTRANEOUS MATERIAL FROM THE SITE.
- ALL NEW PLANTING BED AND SODDED AREAS TO RECEIVE THE FOLLOWING SOIL AMENDMENTS PER 1000 SF: 4 CUBIC YARDS "SUPREME ORGANICS" COMPOST OR APPROVED EQUIVALENT (50% WELL ROTTED COW MANURE, 50% WOOD FINES). ROTOTILL AMENDED PLANTING AREAS TO A MINIMUM DEPTH OF 6". AFTER ROTOTILLING TOP DRESS W/ 25 LBS BIOSOL PER 1000SF (OR OWNER APPROVED EQUIVALENT). NATIVE SEED AREAS SHALL RECEIVE BIOSOL (OR OWNER APPROVED EQUIVALENT) AT A RATE OF 800 LBS/ACRE.
- SODDED AREAS TO BE REVEILLE BLUEGRASS, OR OWNER APPROVED EQUAL.
- SEED NATIVE AREAS WITH THE MIXES OUTLINED BELOW, REFER TO CIVIL DRAWINGS FOR SPECIAL SOIL REQUIREMENTS IN DETENTION AND DRAINAGE AREAS.
- LANDSCAPE EDGER TO BE RYERSON STEEL OR OWNER APPROVED EQUIVALENT. INSTALL PER MANUFACTURERS INSTRUCTIONS.
- FOLLOWING PLANTING OPERATIONS, ALL PLANTING AREAS SHALL BE RETURNED TO A SMOOTH, UNIFORM FINISHED GRADE. FINISHED GRADE ADJACENT TO WALK, DRIVE, OR OTHER HARD SURFACE SHALL BE LEFT 3" BELOW TOP OF ADJACENT SURFACE TO ALLOW FOR 3" MULCH DEPTH.
- MULCH FOR PLANT BEDS TO BE WESTERN FOOTHILLS STONE MULCH WITH TYPAR WEED BARRIER, OR OWNER APPROVED EQUAL. ALL SHRUB AND PERENNIAL BEDS TO BE MULCHED TO A UNIFORM DEPTH OF 3". TREE AND SHRUB PLANTINGS IN NATIVE SEED AREAS TO BE MULCHED WITH 3" SHREDDED WESTERN CEDAR MULCH, WITH NO FABRIC.
- MULCH IN THE BED ALONG WEST BOWLES (NORTH OF THE SOUND WALL) SHALL BE STONE MULCH WITH LANDSCAPE FABRIC TO MATCH THE ADJACENT STREETScape. MULCH TO A UNIFORM DEPTH OF 3".
- AN AUTOMATIC IRRIGATION SYSTEM WILL BE PROVIDED, WITH DRIP IRRIGATION FOR PLANT BEDS AND SPRAY IRRIGATION FOR TURF AREAS. SEE IRRIGATION PLANS.

PLANT LIST

EVERGREEN TREES						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
16	AUP	Austrian Pine	<i>Pinus nigra</i>	6-10"	per plan	B&B, Strong Leader, balanced form
24	COS	Colorado Blue Spruce	<i>Picea pungens</i>	6-10"	per plan	B&B, Strong Leader, balanced form
DECIDUOUS TREES						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
17	BRO	Bur Oak	<i>Quercus macrocarpa</i>	2"	per plan	B&B, Straight single stem, full form
17	COH	Common Hackberry	<i>Celtis occidentalis</i>	2"	per plan	B&B, Straight single stem, full form
13	GRL	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	2"	per plan	B&B, Straight single stem, full form
22	INH	Imperial Honeylocust	<i>Gleditsia triacanthos inermis 'Imperial'</i>	2"	per plan	B&B, Straight single stem, full form
19	NRO	Northern Red Oak	<i>Quercus rubra</i>	2"	per plan	B&B, Straight single stem, full form
10	WEC	Western Catalpa	<i>Collipa speciosa</i>	2"	per plan	B&B, Straight single stem, full form
ORNAMENTAL TREES						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
5	CCP	Charalider Pear	<i>Pyrus callidider 'Charalider'</i>	2"	per plan	B&B, Straight single stem, full form
19	FAM	Flame Amber Maple	<i>Acer glabrum 'Flame'</i>	2"	per plan	B&B, Straight single stem, full form
9	ISL	Isly Silk Tree Lilac	<i>Syringa reticulata 'Isly Silk'</i>	2"	per plan	B&B, Straight single stem, full form
25	SHS	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	2"	per plan	B&B, Straight single stem, full form
EVERGREEN SHRUBS						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
13	ACJ	Alpine Carpet Juniper	<i>Juniperus communis 'Alpine Carpet'</i>	#5	per plan	Well rooted, full and bushy
20	BPJ	Blue Point Juniper	<i>Juniperus chinensis 'Blue Point'</i>	#5	per plan	Well rooted, full and bushy
26	BMJ	Broom Juniper	<i>Juniperus x sibirica 'Broom'</i>	#5	per plan	Well rooted, full and bushy
46	MDJ	Medora Juniper	<i>Juniperus scopulorum 'Medora'</i>	#5	per plan	Well rooted, full and bushy
85	PFJ	Pflizer Juniper	<i>Juniperus x media 'Compact Pflizer'</i>	#5	per plan	Well rooted, full and bushy
21	SGJ	Sea Green Juniper	<i>Juniperus x media 'Sea Green'</i>	#5	per plan	Well rooted, full and bushy
30	TAJ	Tammy Juniper	<i>Juniperus sibirica 'Tammy'</i>	#5	per plan	Well rooted, full and bushy
DECIDUOUS SHRUBS						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
39	CEC	Compact European Cranberrybush	<i>Viburnum opulus 'Compactum'</i>	#5	per plan	Well rooted, full and bushy
121	DKR	Double Knockout Shrub Rose	<i>Rosa 'Double Knock Out'</i>	#5	per plan	Well rooted, full and bushy
85	GLS	Gre-Lo Sumac	<i>Rhus glabra</i>	#5	per plan	Well rooted, full and bushy
19	QRC	Green Mound Alpine Currant	<i>Ribes alpinum 'Green Mound'</i>	#5	per plan	Well rooted, full and bushy
39	RTD	Red Twig Dogwood	<i>Cornus sericea</i>	#5	per plan	Well rooted, full and bushy
61	MCR	Mockorange	<i>Philadelphus coronarius</i>	#5	per plan	Well rooted, full and bushy
12	NKC	Nanking Cherry	<i>Prunus tomentosa</i>	#5	per plan	Well rooted, full and bushy
75	PBS	Prinnea Bultes Western Sandcherry	<i>Prunella besseyi 'Prinnea Bultes'</i>	#5	per plan	Well rooted, full and bushy
44	PBP	Pink Beauty Potentilla	<i>Potentilla fruticosa 'Pink Beauty'</i>	#5	per plan	Well rooted, full and bushy
30	RUS	Russian Sage	<i>Perovskia atriplicifolia</i>	#5	per plan	Well rooted, full and bushy
18	SPS	Siberian Peashrub	<i>Caragana arborea</i>	#5	per plan	Well rooted, full and bushy
6	TSQ	Texas Scarlet Quince	<i>Chaenamelas japonica 'Texas Scarlet'</i>	#5	per plan	Well rooted, full and bushy
14	VAS	Vancouver Spirea	<i>Spiraea x vanhouttei</i>	#5	per plan	Well rooted, full and bushy
PERENNIALS, BULBS AND WINES						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
21	AJS	Autumn Joy Sedum	<i>Sedum x 'Autumn Joy'</i>	#1	2' O.C.	Well Rooted, established
108	SMN	May Night Salvia	<i>Salvia nemorosa 'May Night'</i>	#1	2' O.C.	Well Rooted, established
182	DSA	Desert Sunrise Agastache	<i>Agastache 'Desert Sunrise'</i>	#1	2' O.C.	Well Rooted, established
158	PCF	Purple Coneflower	<i>Echinacea purpurea</i>	#1	2' O.C.	Well Rooted, established
75	REV	Red Valerian	<i>Valeriana naber</i>	#1	2' O.C.	Well Rooted, established
524						
ORNAMENTAL GRASSES						
QTY	SYM	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS
45	BAG	Blue Avena Grass	<i>Hordeichon tempermans</i>	#1	per plan	Well Rooted, established
158	FRG	Festive Reed Grass	<i>Calamagrostis canadensis 'Overdam'</i>	#1	per plan	Well Rooted, established
5	BBS	Blaze Little Bluestem	<i>Schizachyrium scoparium 'Blaze'</i>	#1	per plan	Well Rooted, established
76	SFM	Silver Feather Maiden Grass	<i>Miscanthus sinensis 'Silver Feather'</i>	#1	per plan	Well Rooted, established
387	831					
MANICURED TURF						
QTY	COMMON NAME	BOTANICAL NAME	SIZE	OC SPACING	COMMENTS	
81,447	Reveille Bluegrass	<i>Poa pratensis 'Reveille'</i>	1/2"	per plan		

SYMBOLS AND ABBREVIATIONS

- TYP. TYPICAL
- ⊥ CENTERLINE
- + CENTER POINT OF CIRCLE
- EQ. EQUAL
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- R RADIUS
- SLOPE DIRECTION
- P.O.B. POINT OF BEGINNING

NATIVE SEED MIXES

NATIVE GRASSES/SEED MIXES FOR UPLAND AREAS: 57,616 SF
Use one of the following two mixes

SHORT GRASS MIX #1: FOR ALL UPLAND AREAS

This mixture may be used between October 15 and March 30 only

Common Name	Species Name	oz./acre	#PLS/Acre
Buffalograss	<i>Bouteloua doctyloides</i>		14
Blue Grama	<i>Chondrosium gracile 'Livingston'</i>		12
Sand Dropseed	<i>Sporobolus cryptandrus</i>		4
Fringe Sage	<i>Artemisia frigida</i>	1	
Purple Prairie Clover	<i>Dalea purpurea</i>	4	
Gayfeather	<i>Liatris punctata</i>	4	
Tansy Aster	<i>Madroserathera tanacetifolia</i>	3	
Onions		12	0.75
Seeding Rate Pounds PLS/ACRE			30.75

SHORTGRASS PRAIRIE NATIVE SEED MIXTURE #2

This mixture may be used between April 1 and June 15 only

Common Name	Species Name	oz./acre	#PLS/Acre
Side Oats Grama	<i>Bouteloua curtipendula 'Butte'</i>		7
Blue Grama	<i>Bouteloua gracilis 'Livingston'</i>		4
Buffalograss	<i>Bouteloua doctyloides</i>		4
Switchgrass	<i>Panicum virgatum 'Blackwell'</i>		7
Little Bluestem	<i>Schizachyrium scoparium 'Pasture'</i>		6
Sand Dropseed	<i>Sporobolus cryptandrus</i>		2
Seeding Rate Pounds PLS/ACRE			30

DRAINAGE AND DETENTION SEED MIXES: 20,590 SF

TRANSITION MIX: FOR SWALES AND DETENTION POND SLOPES

Refer to civil drawings for soil mixture and depths

Common Name	Species Name	Variety	oz./acre	#PLS/Acre
Sheep Fescue	<i>Festuca ovina</i>	Durar		1.3
Western Wheatgrass	<i>Panicopyrum smithii</i>	Arriba		7.9
Alkali sacaton	<i>Sporobolus airoides</i>			0.5
Slender Wheatgrass	<i>Elymus trachycarpus</i>			5.5
Canadian bluegrass	<i>Poa compressa</i>	Ryegens		0.3
Switchgrass	<i>Panicum virgatum</i>	Pathfinder		1.3
Willowweeds				
Blanket Flower	<i>Gallardia aristata</i>			0.25
Prairie coneflower	<i>Ratibida columnifera</i>			0.2
Purple Prairie clover	<i>Dalea (petalostemum) purpurea</i>			0.2
Gayfeather	<i>Liatris punctata</i>			0.06
Pentstemon	<i>Pentstemon strictus</i>			0.2
Yarrow	<i>Achillea millefolium</i>			0.2
Seeding Rate Pounds PLS/ACRE				17.94

RAIN GARDEN MIX: FOR SAND FILTER AREA

Refer to civil drawings for specialized soil mixture

Common Name	Species Name	Variety	oz./acre	#PLS/Acre
Sand Bluestem	<i>Andropogon hallii</i>	Garden		3.5
Side oats grama	<i>Bouteloua curtipendula</i>	Butte		3
Prairie sandreed	<i>Calamagrostis langsdorfi</i>	Garden		3
Indian Ricegrass	<i>Oryzopsis hymenoides</i>	Pilama		3
Switchgrass	<i>Panicum virgatum</i>	Blackwell		4
Western wheatgrass	<i>Panicopyrum smithii</i>	Arriba		3
Little Bluestem	<i>Schizachyrium scoparium</i>	Patura		3
Alkali sacaton	<i>Sporobolus airoides</i>			3
Sand Dropseed	<i>Sporobolus cryptandrus</i>			3
Willowweeds				
Prairie sage	<i>Artemisia frigida</i>			2
Blue aster	<i>Aster laevis</i>			4
Blanket flower	<i>Gallardia aristata</i>			3
Prairie coneflower	<i>Ratibida columnifera</i>			4
Purple Prairie clover	<i>Dalea (petalostemum) purpurea</i>			4
Subtotal				21
Seeding Rate Pounds PLS/ACRE				28.9

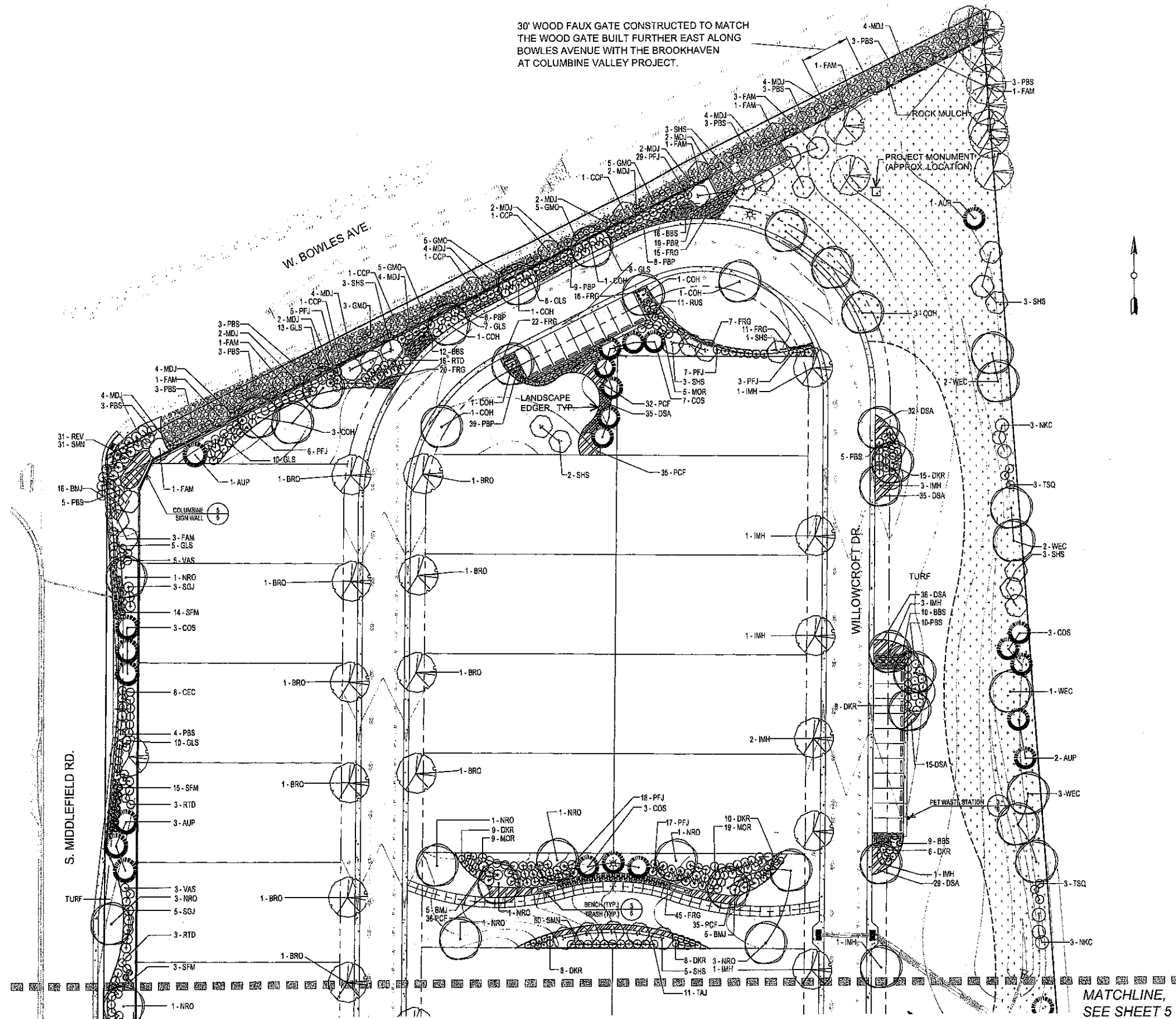
WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

TOWN OF COLUMBINE VALLEY, COLORADO

JULY 16, 2015

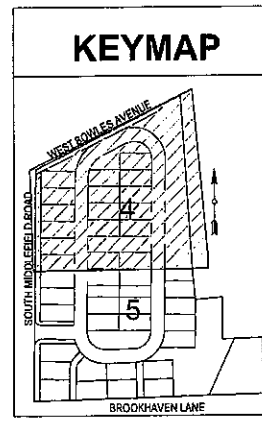


LEGEND

- EXISTING TREE TO REMAIN
- SHADE TREE
- SHADE TREE (to be installed w/ home)
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- ORNAMENTAL GRASS
- PERENNIAL/GROUNDCOVER
- STONE MULCH
- TURF (SOD)
- NATIVE SEED: UPLAND AREAS
- NATIVE SEED: DRAINAGE AREAS
- STEEL EDGER
- PROPOSED CONTOUR
- LIMIT OF WORK

NOTES:
Grading and utilities are shown for informational purposes only, refer to civil plans for more information.

Street trees shown in lots will be the responsibility of the homeowner.

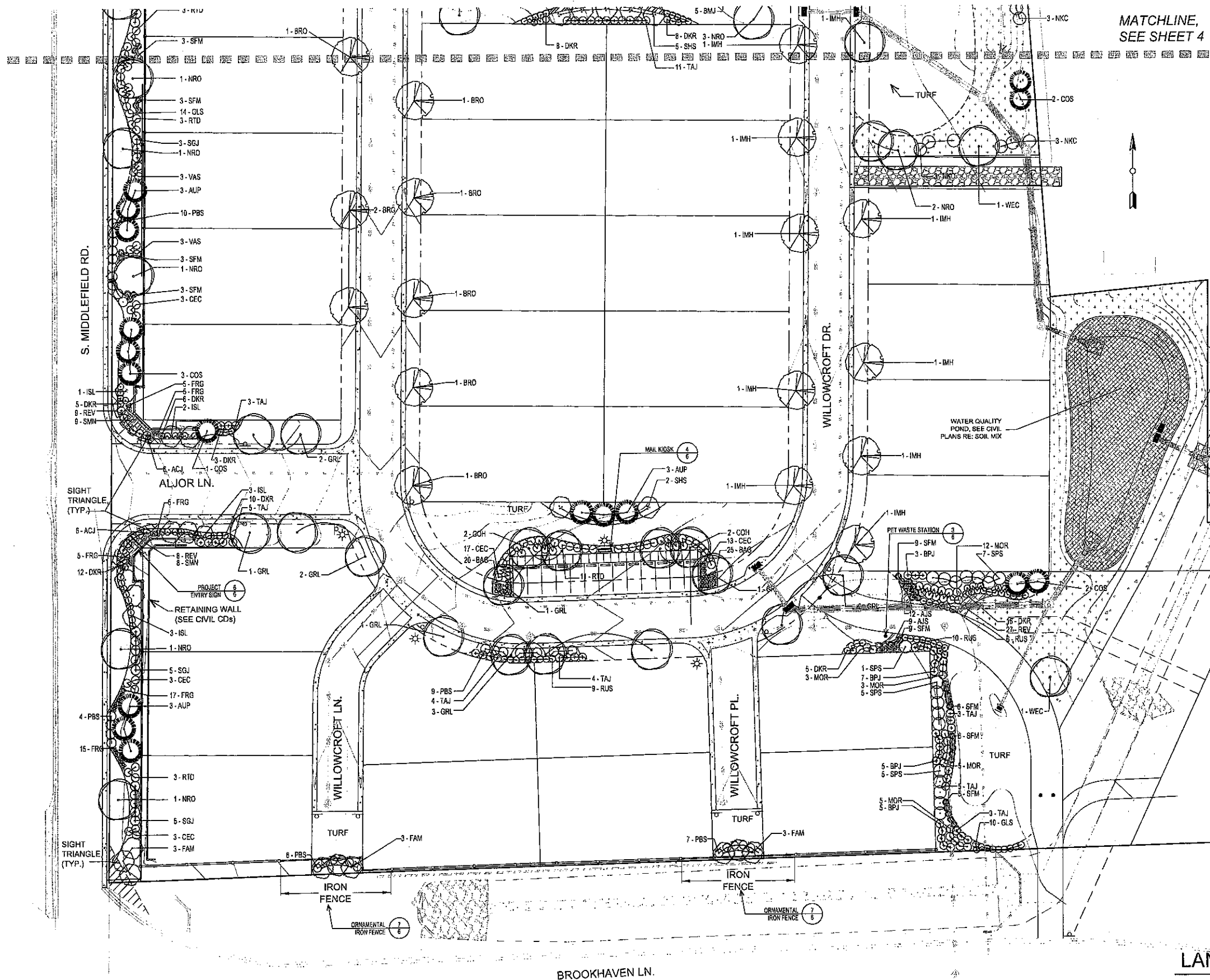


WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

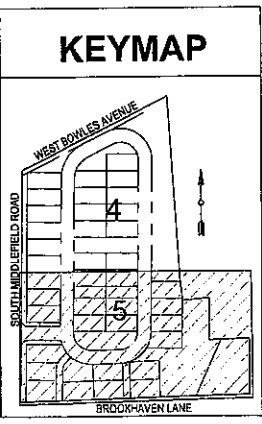
TOWN OF COLUMBINE VALLEY, COLORADO
JULY 16, 2015



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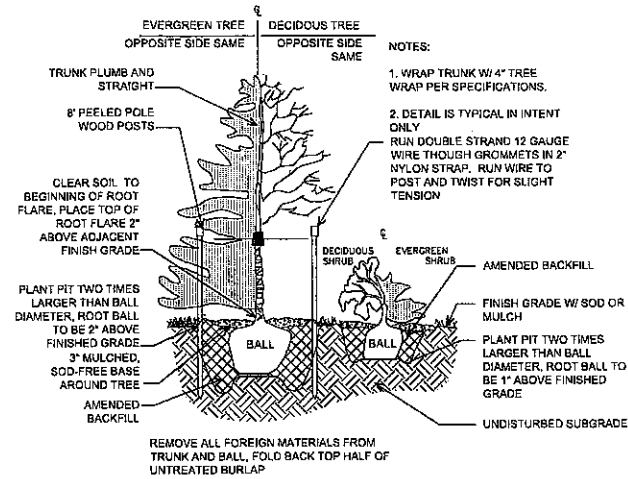
WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

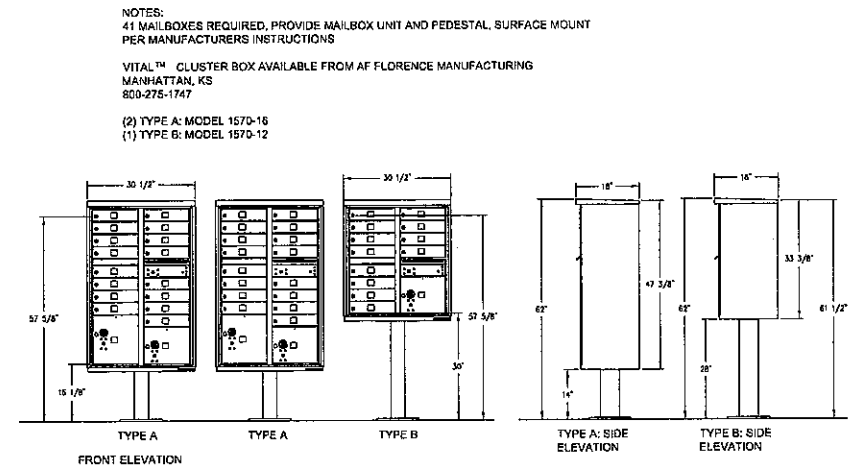
FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

TOWN OF COLUMBINE VALLEY, COLORADO

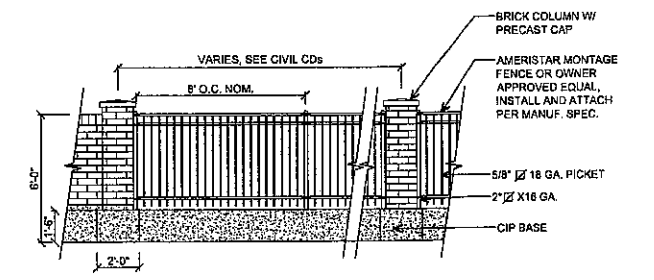
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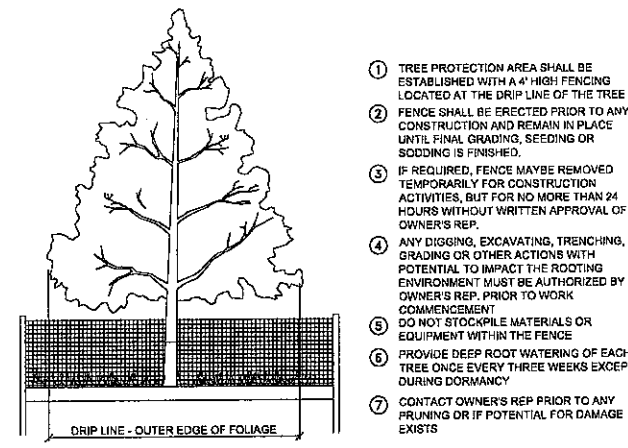
1 TREE AND SHRUB PLANTING
6 SCALE: 1/4" = 1'-0"



4 MAIL KIOSK
6 1/2" = 1'-0"

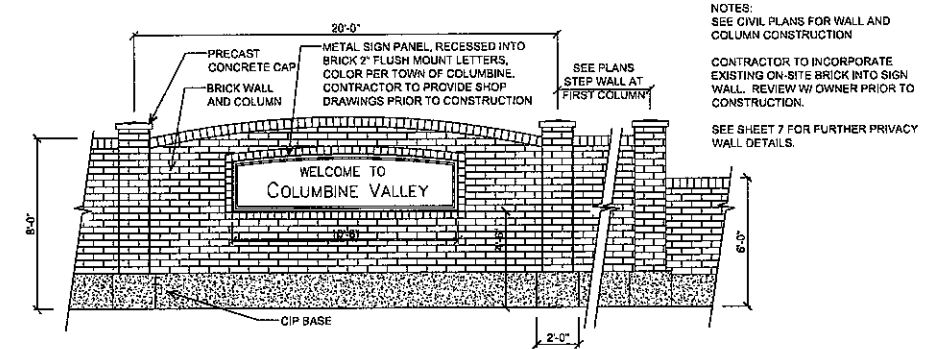


7 ORNAMENTAL IRON FENCE
6 1/4" = 1'-0"

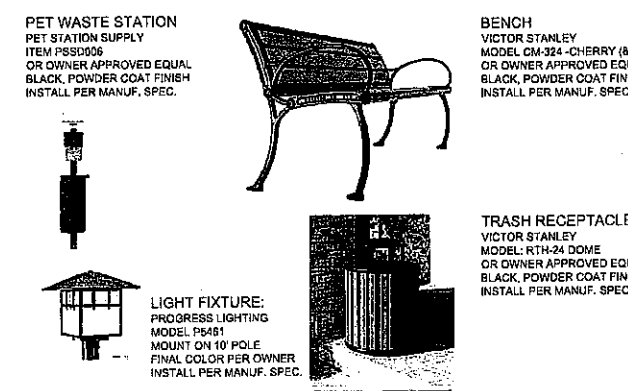


- 1 TREE PROTECTION AREA SHALL BE ESTABLISHED WITH A 4' HIGH FENCING LOCATED AT THE DRIP LINE OF THE TREE
- 2 FENCE SHALL BE ERECTED PRIOR TO ANY CONSTRUCTION AND REMAIN IN PLACE UNTIL FINAL GRADING, SEEDING OR SOODING IS FINISHED.
- 3 IF REQUIRED, FENCE MAYBE REMOVED TEMPORARILY FOR CONSTRUCTION ACTIVITIES, BUT FOR NO MORE THAN 24 HOURS WITHOUT WRITTEN APPROVAL OF OWNER'S REP.
- 4 ANY DIGGING, EXCAVATING, TRENCHING, GRADING OR OTHER ACTIONS WITH POTENTIAL TO IMPACT THE ROOTING ENVIRONMENT MUST BE AUTHORIZED BY OWNER'S REP. PRIOR TO WORK COMMENCEMENT
- 5 DO NOT STOCKPILE MATERIALS OR EQUIPMENT WITHIN THE FENCE
- 6 PROVIDE DEEP ROOT WATERING OF EACH TREE ONCE EVERY THREE WEEKS EXCEPT DURING DORMANCY
- 7 CONTACT OWNER'S REP PRIOR TO ANY PRUNING OR IF POTENTIAL FOR DAMAGE EXISTS

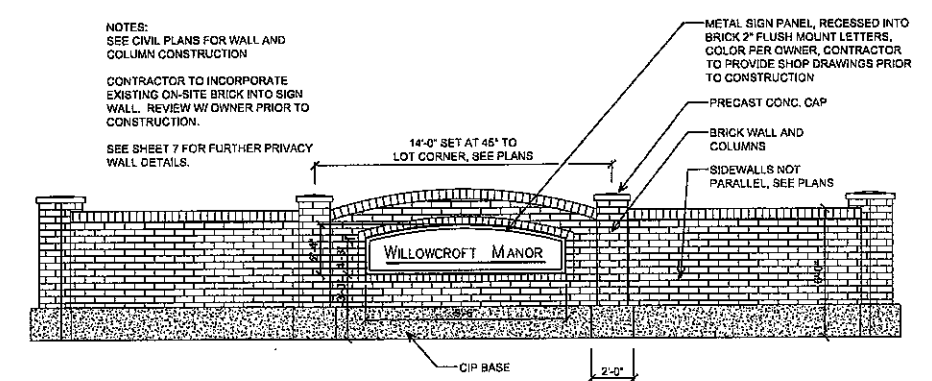
2 EXISTING TREE PROTECTION
6 NOT TO SCALE



5 COLUMBINE SIGN WALL
6 1/4" = 1'-0"



3 SITE FURNITURE
6 NOT TO SCALE



6 PROJECT ENTRY SIGN
6 1/4" = 1'-0"

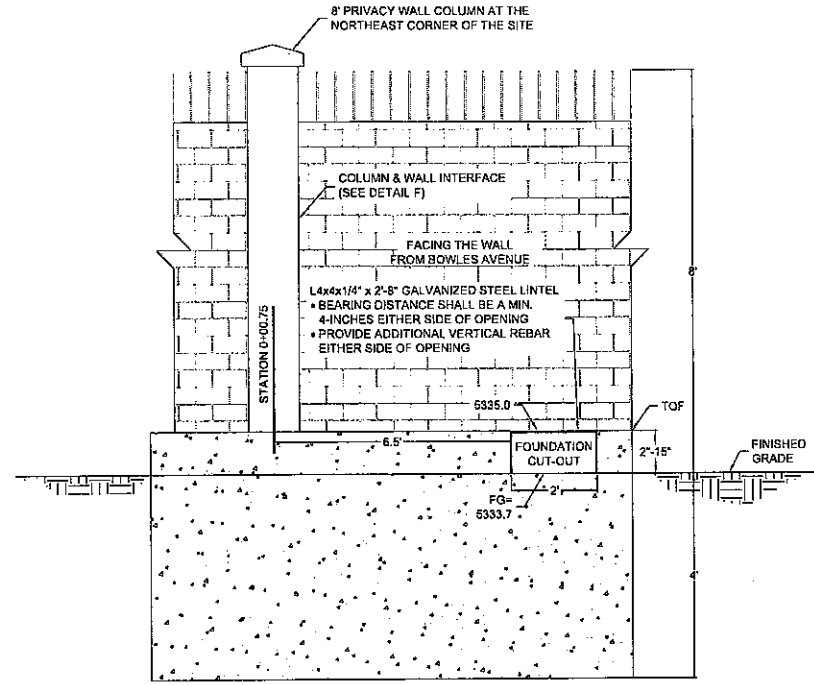
WILLOWCROFT MANOR

FINAL DEVELOPMENT PLAN

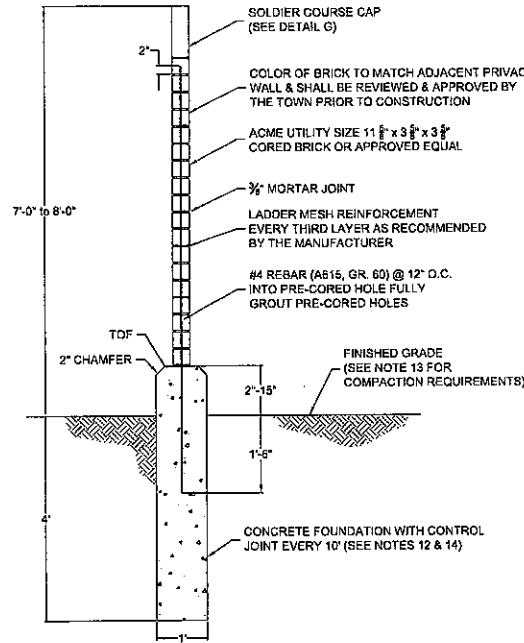
FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

TOWN OF COLUMBINE VALLEY, COLORADO

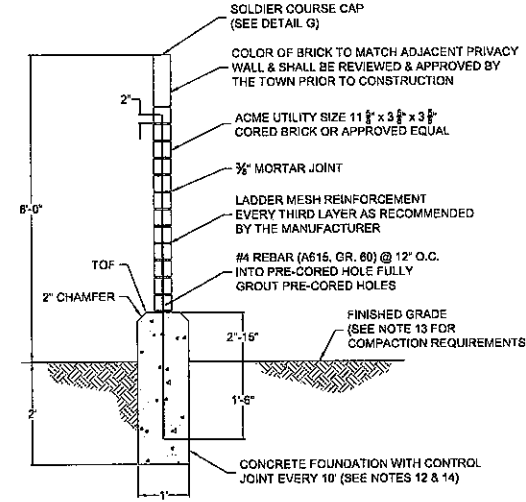
JULY 16, 2015



DETAIL A - DRAINAGE PASS THRU NOTCH
SCALE: 1"=20"

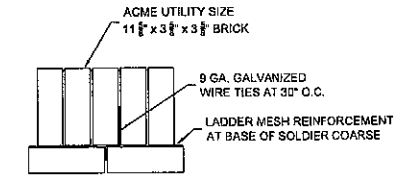


DETAIL B - 7' to 8' CAST IN PLACE PRIVACY WALL
SCALE: 1"=20"



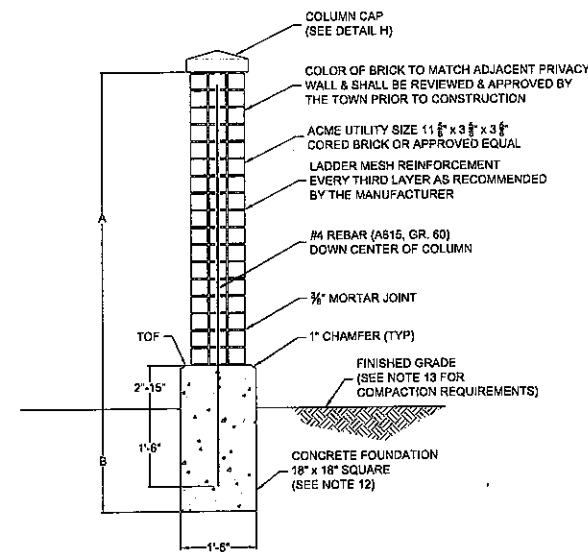
DETAIL C - 6' CAST IN PLACE PRIVACY WALL
SCALE: 1"=20"

- PRIVACY WALL NOTES:**
- GROUT FILL FOR COLUMN CENTER CAVITY SHALL BE ASTM C476 COARSE GROUT 3000 PSI POURED AT 8" TO 10" SLUMP.
 - WIRE JOINT REINFORCING SHALL HAVE A MINIMUM YIELD STRENGTH OF 80,000 PSI AND BE HOT-DIP GALVANIZED OR STAINLESS. USE 9 GA. x 1 1/2" OR 1 1/2" LADDER WIRE JOINT REINFORCING.
 - MORTAR JOINTS: TYPE S PORTLAND CEMENT AND LIME MORTAR OR TYPE S MORTAR CEMENT.
 - PROVIDE EXPANSION JOINTS AT THE INTERFACE OF THE WALL AND EXISTING COLUMN AT BROOKHAVEN. IN ADDITION, PROVIDE EXPANSION JOINTS EVERY 10' ALONG THE FOUNDATION OF THE PRIVACY WALL. THE EXPANSION MATERIAL SHALL BE 1/2" THICK EXPANDED STYRENE FOAM STRIP.
 - THE NEXT COURSE OF BRICK SHALL BE PLACED AS SOON AS POSSIBLE AFTER STRINGING BED JOINT MORTAR. ALL BRICK IN NEXT COURSE SHALL BE PLACED WITHIN 5 MINUTES OF STRINGING BED JOINT MORTAR ON THE COURSE BELOW. IF MORTAR BEGINS TO STIFFEN, GOOD BOND WITH THE BRICK WILL NOT BE ACHIEVED.
 - JOINT TOOLING ON BOTH FACES TO A CONCAVE PROFILE SHALL BE DONE WHEN MORTAR IS THIN-FRONT HARD.
 - CLEAN MORTAR COSS FROM WALL AS WORK PROGRESSES.
 - ANCHOR SOLDIER COURSE TO BRICK WALL WITH 9 GA. GALVANIZED WIRE TIES AT 30" O.C.
 - PLACE JOINT REINFORCING ABOVE THE FIRST COURSE AND ADD AN EXTRA LAYER OF REINFORCING AT THE TOP OF WALL, IF A SOLDIER CAP IS USED. THIS WILL ALLOW FOR THE 10' SOLDIER WITH NO COURSE REINFORCING.
 - HIGH IRRA (HOT) BRICK MUST BE PRE-WET TO ASSURE GOOD BOND.
 - THE PRIVACY WALLS AND COLUMNS WERE DESIGNED FOR AN EXPOSURE TYPE B WITH MAXIMUM WIND SPEEDS OF 115 MPH.
 - CONCRETE FOR FOUNDATIONS SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI AND AN AIR ENTRAINMENT OF 4.6%.
 - BACKFILLED MATERIAL 5 FEET EITHER SIDE OF THE WALL AND COLUMN SHALL BE COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT (D988), WITHIN 3% OF OPTIMUM MOISTURE CONTENT.
 - CONTROL JOINT: CONTROL JOINTS SHALL BE PROVIDED ALONG THE FOUNDATION OF THE PRIVACY WALL EVERY 10'. THE CONTROL JOINT SHALL BE APPROXIMATELY 1/4" DEEP.

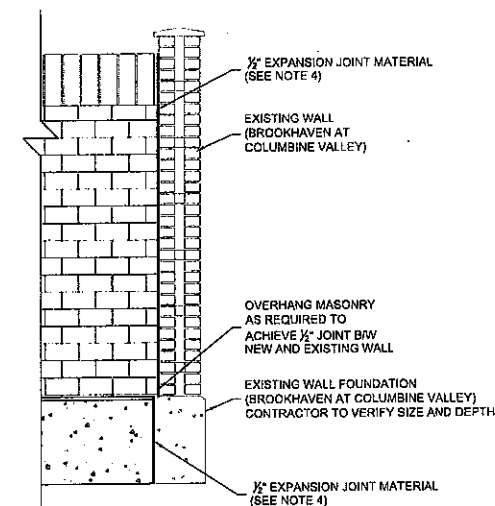


DETAIL G - SOLDIER COURSE INTERFACE
SCALE: NTS

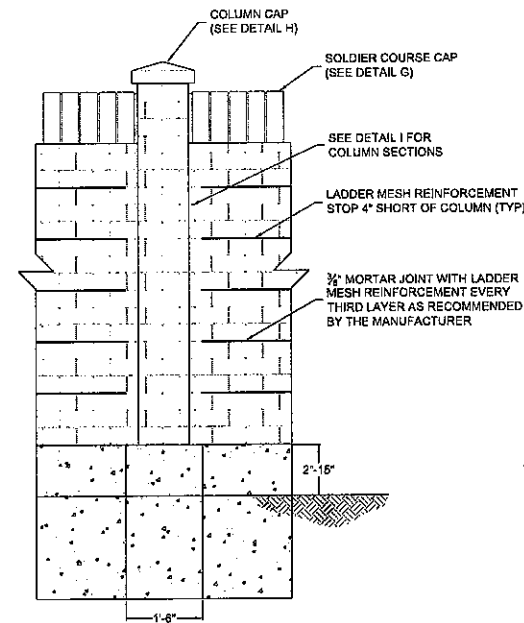
COLUMN SUMMARY	
WALL HEIGHT, A	FOUNDATION DEPTH, B
6'-0"	2'-0"
7'-0"	4'-0"
8'-0"	4'-0"



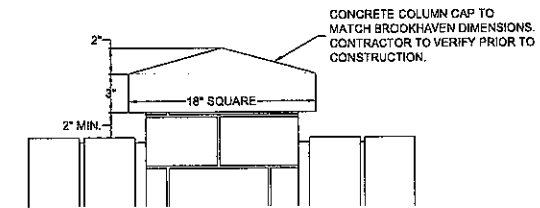
DETAIL D - 6' to 8' CAST IN PLACE PRIVACY WALL
SCALE: 1"=20"



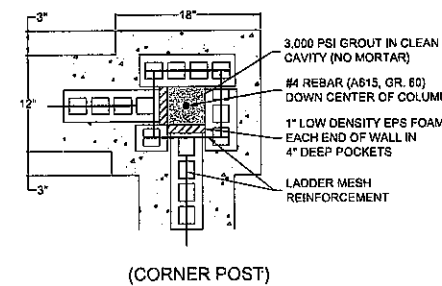
DETAIL E - INTERACTION BETWEEN EXISTING AND PROPOSED PRIVACY WALL
SCALE: 1"=20"



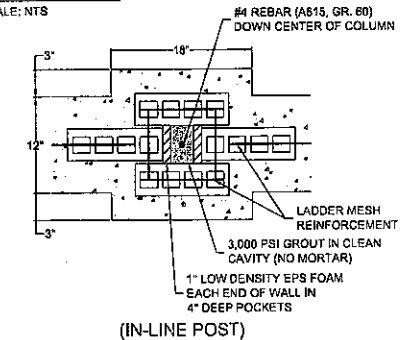
DETAIL F - WALL & COLUMN INTERFACE
SCALE: NTS



DETAIL H - COLUMN CAP
SCALE: NTS



(CORNER POST)



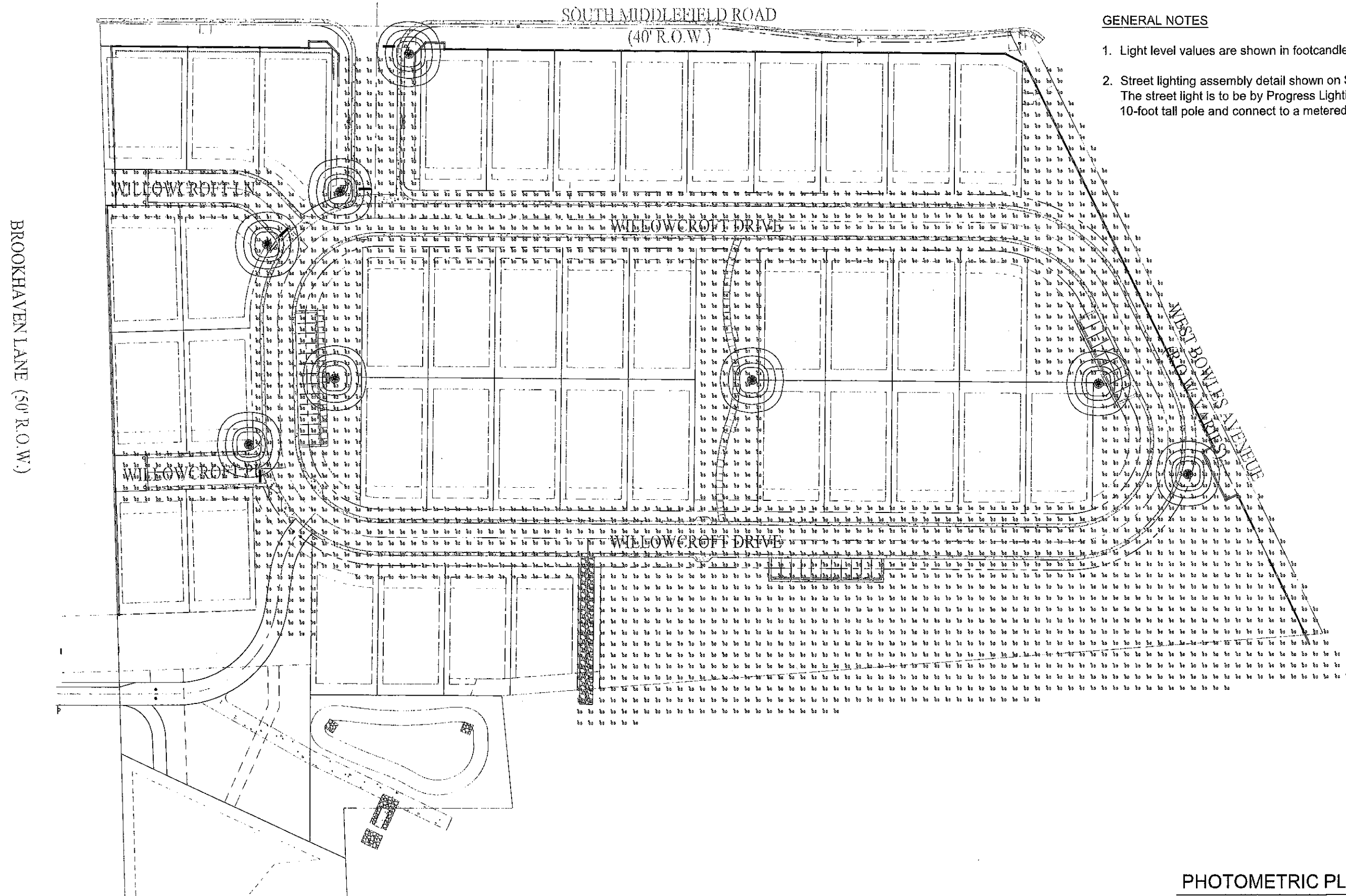
(IN-LINE POST)

DETAIL I - COLUMN SECTIONS
SCALE: NTS

WILLOWCROFT MANOR
FINAL DEVELOPMENT PLAN
FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT
 TOWN OF COLUMBINE VALLEY, COLORADO
 JULY 16, 2015

GENERAL NOTES

1. Light level values are shown in footcandles (fc) and are spaced at 10'-0" o.c.
2. Street lighting assembly detail shown on Sheet 7, Landscape Details Sheet. The street light is to be by Progress Lighting model #P5461. Mount light on a 10-foot tall pole and connect to a metered electrical service.





eh
sc

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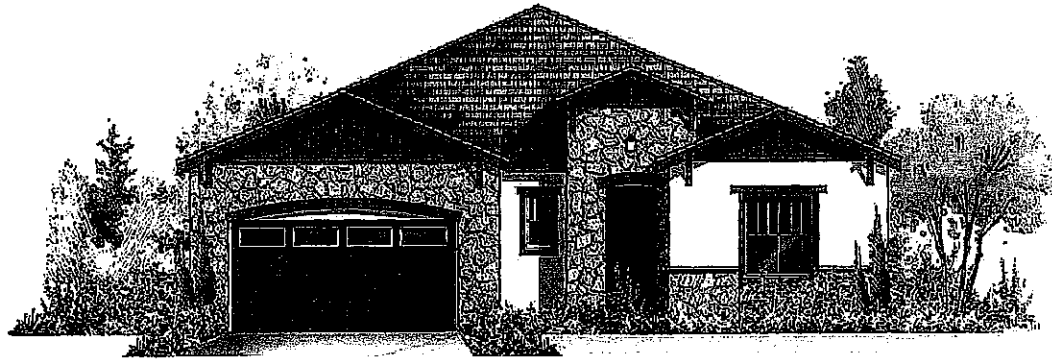


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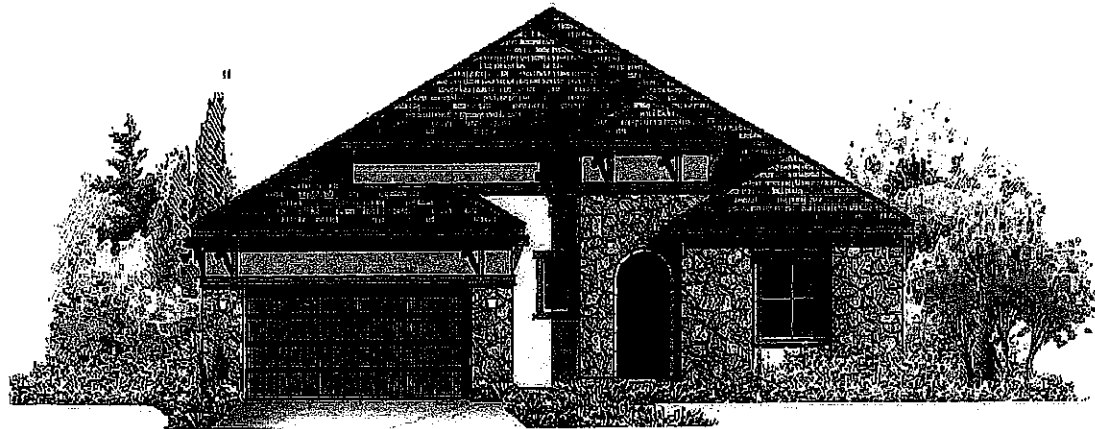
WILLOWCROFT MANOR
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 TOWN OF COLUMBINE VALLEY, COLORADO
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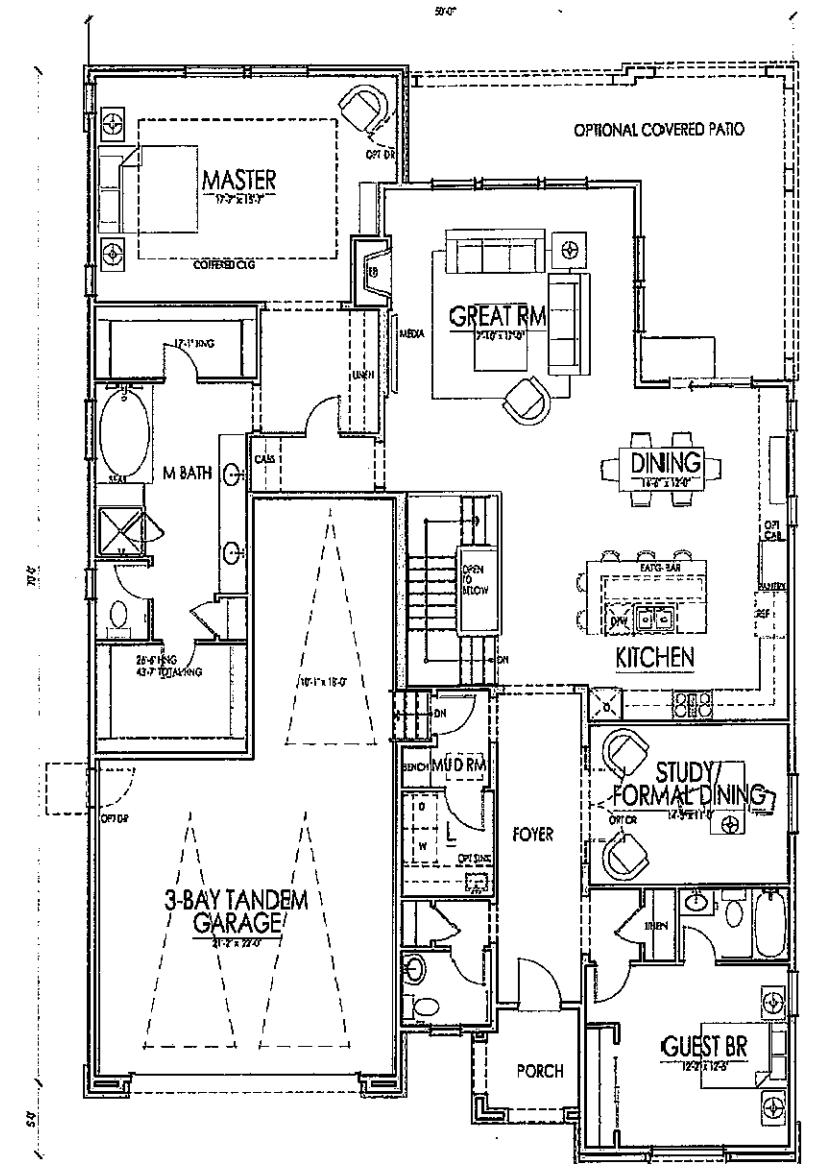
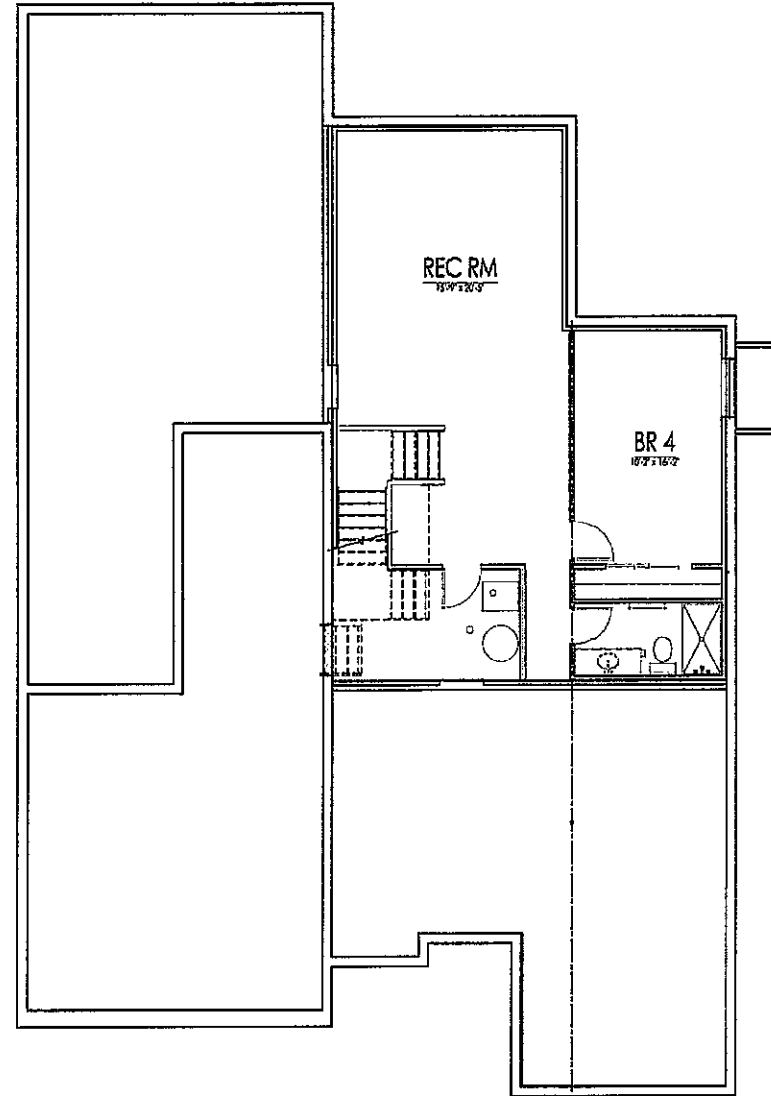
elevationA
scheme #4



elevationB
scheme #5



elevationC
scheme #6

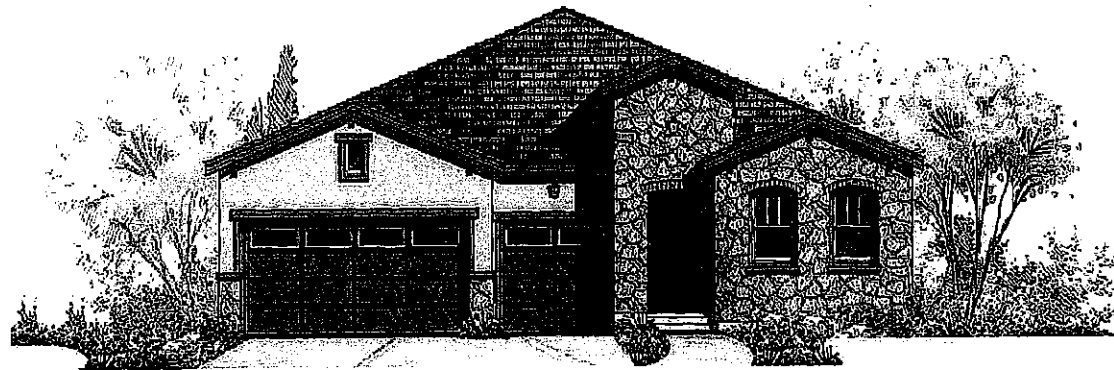


FLOOR PLAN TWO
 MAIN LEVEL: 2,474 FT²
 FULL UNFINISHED BASEMENT: 2,112 FT²
 TOTAL: 4,586 FT²

WILLOWCROFT MANOR
 FINAL DEVELOPMENT PLAN
 FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT
 TOWN OF COLUMBINE VALLEY, COLORADO
 JULY 16, 2015



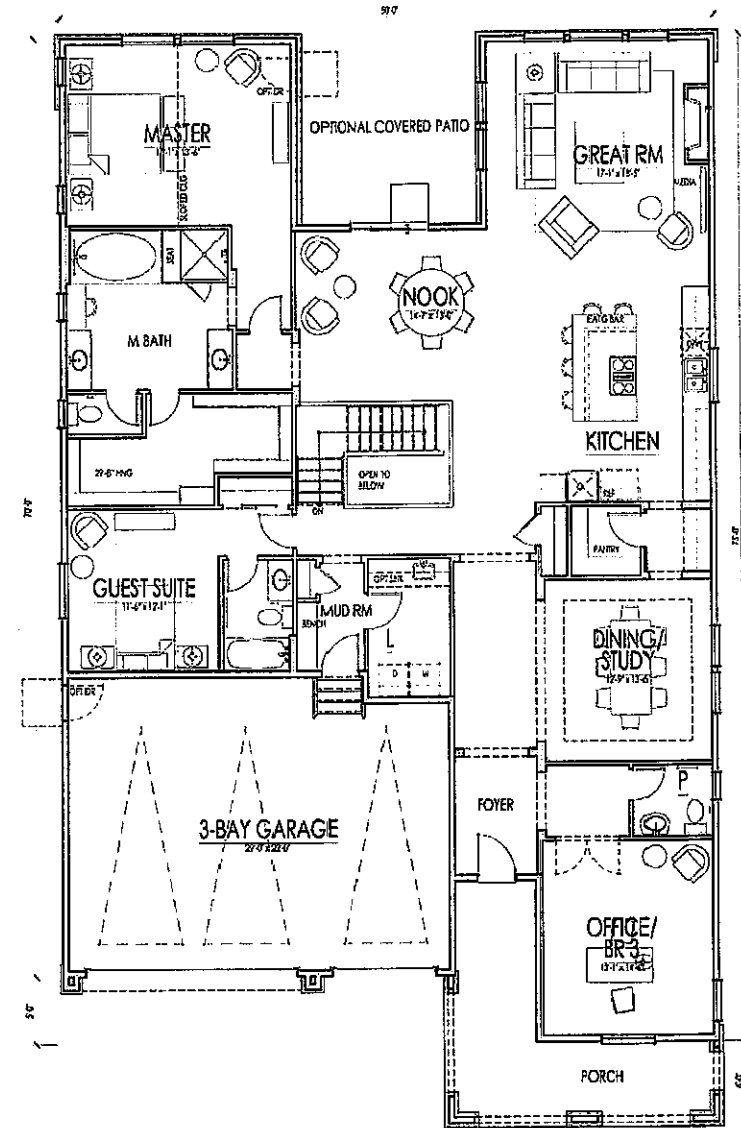
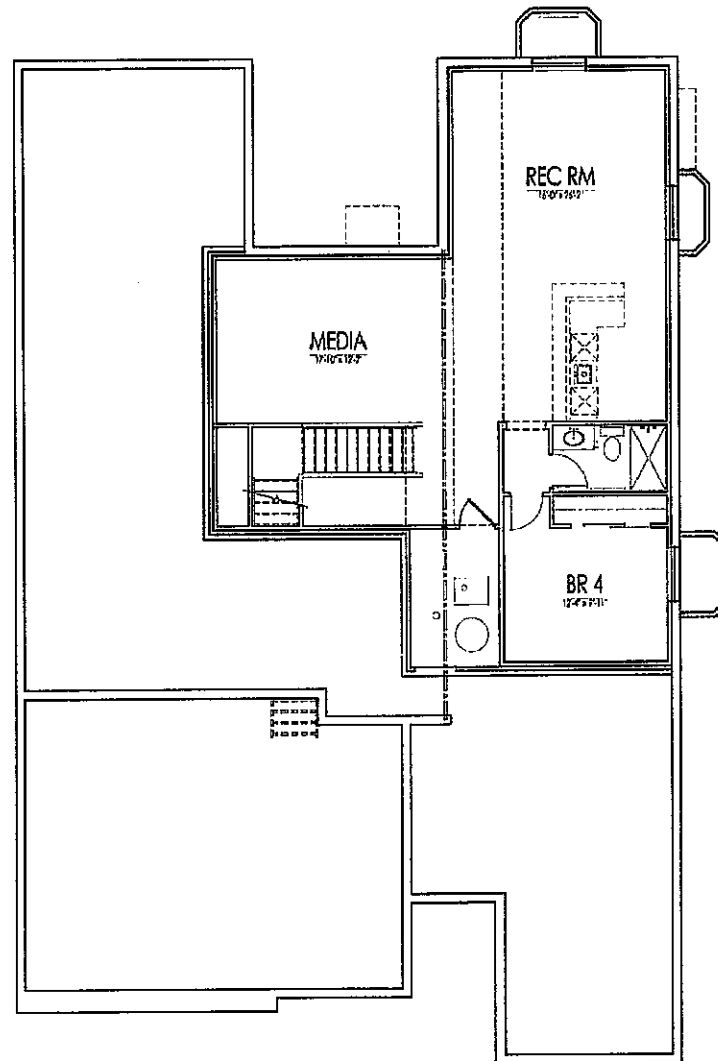
elevationA
scheme #7



elevationB
scheme #1

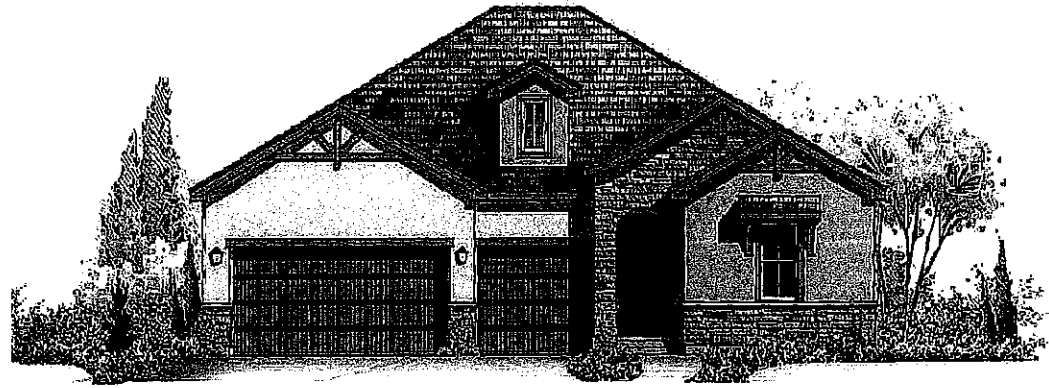


elevationC
scheme #2



FLOOR PLAN THREE
 MAIN LEVEL: 2,631 FT²
 FULL UNFINISHED BASEMENT: 2,513 FT²
 TOTAL: 5,144 FT²

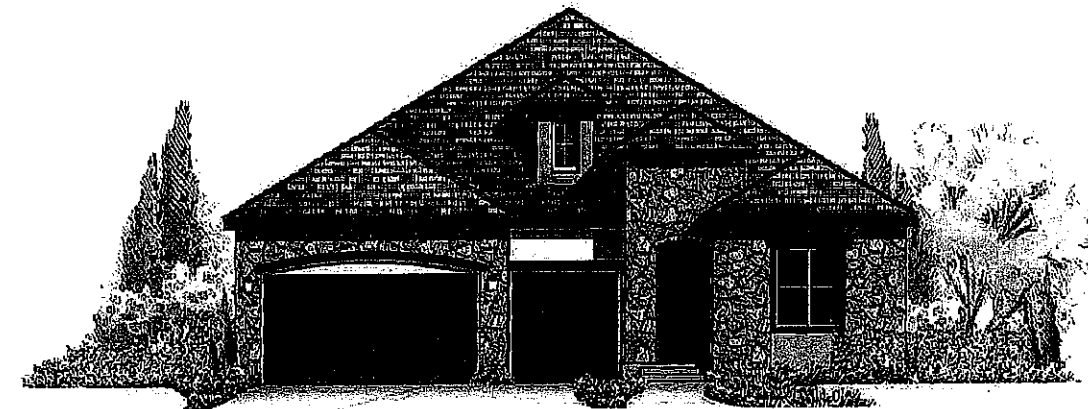
WILLOWCROFT MANOR
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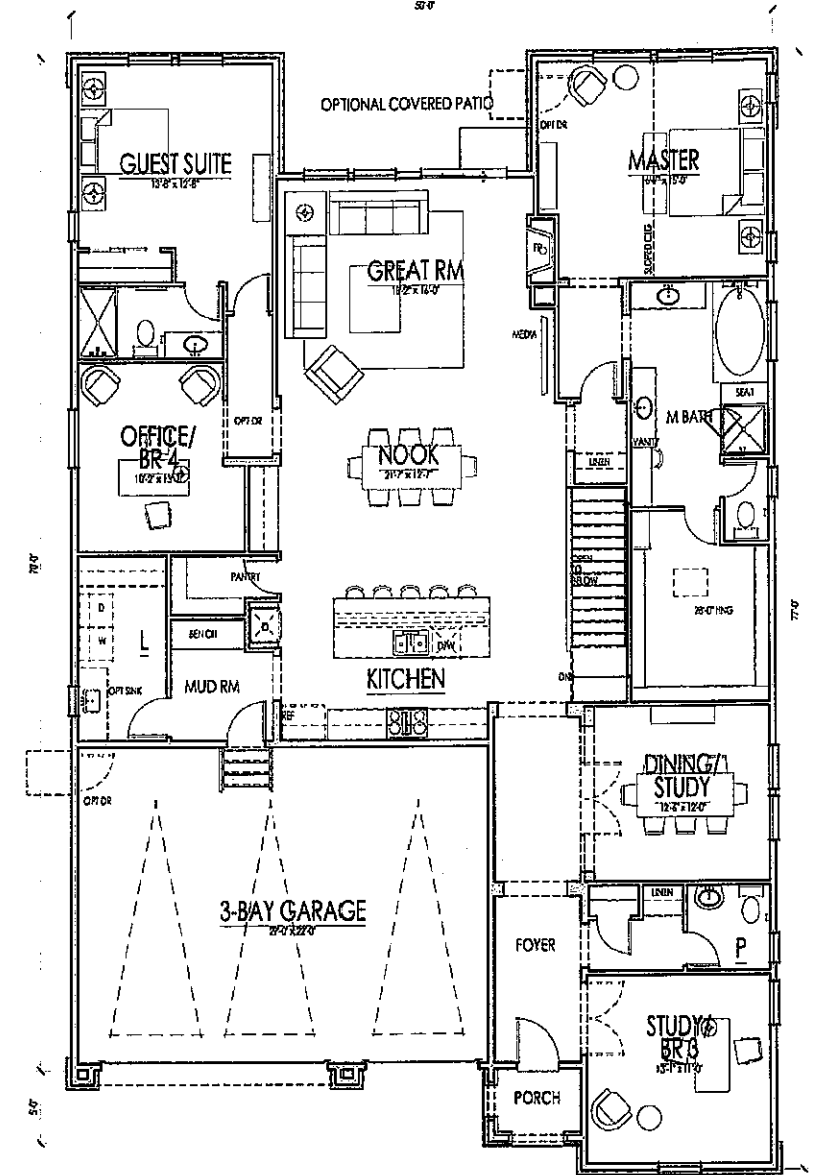
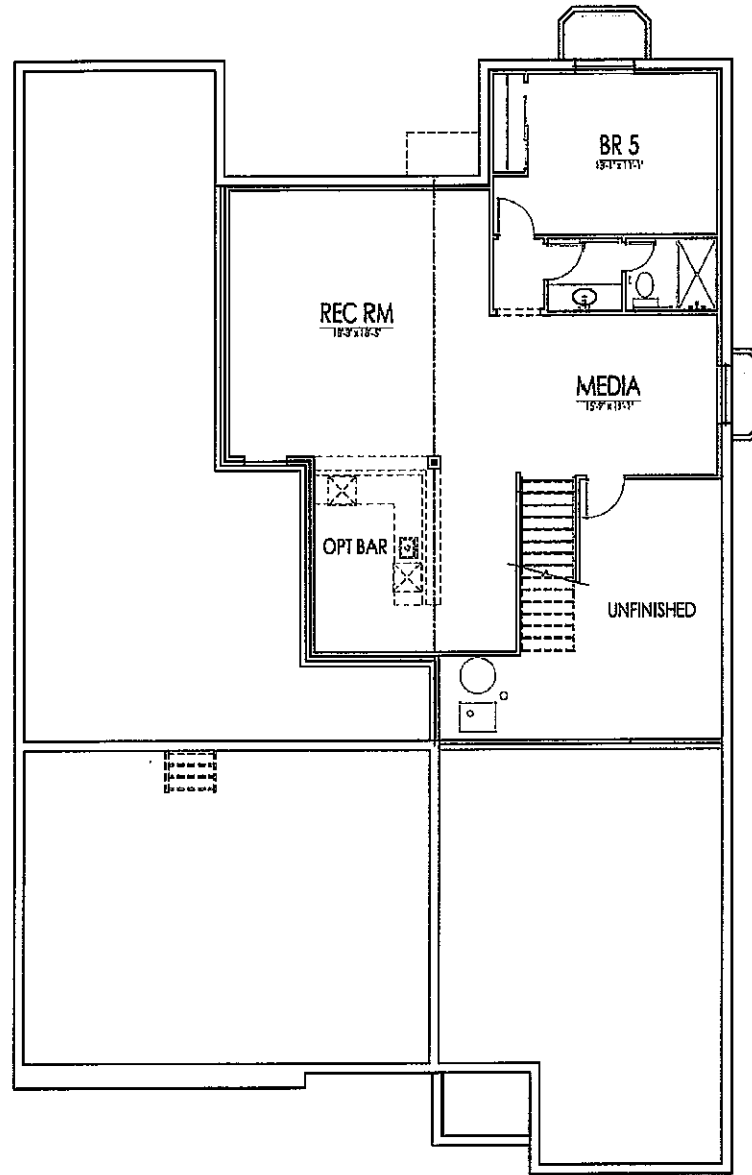
elevationA
scheme #3



elevationB
scheme #4



elevationC
scheme #5



FLOOR PLAN FOUR
 MAIN LEVEL: 2,759 FT²
 FULL UNFINISHED BASEMENT: 2,608 FT²
 TOTAL: 5,367 FT²

Legal Description
(PREPARED BY FLATRONS, INC.)

A PORTION OF THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTH LINE OF TRACT B, BLOCK 3, FIRST ADMINISTRATIVE AMENDMENT BROOKHAVEN AT COLUMBINE VALLEY RECORDED IN THE RECORDS OF ARAPAHOE COUNTY AT RECEPTION NO. B0161325 ON 12/13/2000 AND THE EAST RIGHT-OF-WAY LINE OF SOUTH MIDDLEFIELD ROAD; THENCE ALONG THE SAID EASTERLY RIGHT-OF-WAY LINE, NORTH 00°31'33" EAST, A DISTANCE OF 633.85 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF WEST BOULEVARD; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE THE FOLLOWING SIX (6) COURSES:

- 1) NORTH 63°38'05" EAST, A DISTANCE OF 222.38 FEET;
- 2) NORTH 63°38'05" EAST, A DISTANCE OF 40.00 FEET;
- 3) NORTH 67°35'37" EAST, A DISTANCE OF 19.37 FEET;
- 4) NORTH 63°38'14" EAST, A DISTANCE OF 78.10 FEET;
- 5) NORTH 61°21'48" EAST, A DISTANCE OF 34.40 FEET;
- 6) NORTH 63°38'05" EAST, A DISTANCE OF 203.90 FEET TO THE MOST NORTHWESTERLY CORNER OF TRACT "D" OF SAID FIRST ADMINISTRATIVE AMENDMENT BROOKHAVEN AT COLUMBINE VALLEY; THENCE DEPARTING SAID SOUTH RIGHT-OF-WAY LINE AND ALONG THE WESTERLY AND NORTHERLY LINES OF SAID FIRST ADMINISTRATIVE AMENDMENT BROOKHAVEN AT COLUMBINE VALLEY, THE FOLLOWING SEVEN (7) COURSES:

- 1) SOUTH 04°11'39" EAST, A DISTANCE OF 649.47 FEET;
- 2) SOUTH 04°10'21" EAST, A DISTANCE OF 89.41 FEET;
- 3) THENCE NORTH 84°13'23" EAST, A DISTANCE OF 100.18 FEET;
- 4) THENCE SOUTH 00°20'00" WEST, A DISTANCE OF 152.16 FEET;
- 5) THENCE NORTH 87°39'57" EAST, A DISTANCE OF 150.59 FEET;
- 6) THENCE SOUTH 00°02'25" EAST, A DISTANCE OF 202.23 FEET;
- 7) THENCE SOUTH 88°21'14" WEST, A DISTANCE OF 847.27 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF SOUTH MIDDLEFIELD ROAD, SAID POINT ALSO BEING THE POINT OF BEGINNING.

SAID DESCRIBED PARCEL CONTAINING 620,225 SQ.FT. OR 14.24 ACRES MORE OR LESS.

Standard Notes

THE OWNER(S), DEVELOPER(S) AND/OR SUBDIVIDER(S) OF THE PLAT KNOWN AS "WILLOWCROFT MANOR", THEIR RESPECTIVE SUCCESSORS, HEIRS AND/OR ASSIGNS AGREE TO THE FOLLOWING NOTES:

STREET MAINTENANCE

IT IS MUTUALLY UNDERSTOOD AND AGREED THAT THE DEDICATED ROADWAYS SHOWN ON THIS PLAT WILL NOT BE MAINTAINED BY THE TOWN UNTIL AND UNLESS THE STREETS ARE CONSTRUCTED IN ACCORDANCE WITH THE TOWN STREET CONSTRUCTION STANDARDS IN EFFECT AT THE DATE CONSTRUCTION PLANS ARE APPROVED, AND PROVIDED CONSTRUCTION OF SAID ROADWAYS IS STARTED WITHIN ONE YEAR OF THE CONSTRUCTION PLAN APPROVAL. THE OWNERS, DEVELOPERS AND/OR SUBDIVIDERS, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, SHALL BE RESPONSIBLE FOR STREET MAINTENANCE UNTIL SUCH TIME AS THE TOWN ACCEPTS THE RESPONSIBILITY FOR MAINTENANCE AS STATED ABOVE.

DRAINAGE MAINTENANCE

THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE FACILITIES INSTALLED PURSUANT TO THE SUBDIVIDERS IMPROVEMENTS AGREEMENTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO MAINTAINING THE SPECIFIED STORM WATER DETENTION/RETENTION VOLUMES, MAINTAINING OUTLET STRUCTURES, FLOW RESTRICTION DEVICES AND FACILITIES NEEDED TO CONVEY FLOW TO SAID BASINS. TOWN SHALL HAVE THE RIGHT TO ENTER PROPERTIES TO INSPECT SAID FACILITIES AT ANY TIME. IF THESE FACILITIES ARE NOT PROPERLY MAINTAINED, THE TOWN MAY PROVIDE NECESSARY MAINTENANCE AND ASSESS THE MAINTENANCE COST TO THE OWNER OF THE PROPERTY.

EMERGENCY ACCESS NOTE

EMERGENCY ACCESS IS GRANTED HERewith OVER AND ACROSS ALL PAVED AREAS FOR GOLF CARTS, BICYCLES, PEDESTRIANS, POLICE, FIRE, AND EMERGENCY VEHICLES.

LANDSCAPE MAINTENANCE

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, THE ADJACENT PROPERTY OWNER(S), HOMEOWNERS ASSOCIATION OR OTHER ENTITY OTHER THAN THE TOWN IS RESPONSIBLE FOR MAINTENANCE AND UPKEEP OF PERIMETER FENCING, LANDSCAPED AREAS AND SIDEWALKS BETWEEN THE FENCE LINE/PROPERTY LINE AND ANY PAVED ROADWAYS.

THE OWNERS OF THIS SUBDIVISION, THEIR SUCCESSORS AND/OR ASSIGNS IN INTEREST, HOMEOWNERS ASSOCIATION OR SOME OTHER ENTITY OTHER THAN THE TOWN, AGREE TO THE RESPONSIBILITY OF MAINTAINING ALL OTHER OPEN SPACE AREAS ASSOCIATED WITH THIS DEVELOPMENT.

SITE TRIANGLE MAINTENANCE

THE OWNERS OF PRIVATE PROPERTY CONTAINING A TRAFFIC SIGHT TRIANGLE ARE PROHIBITED FROM ERECTING OR GROWING ANY OBSTRUCTIONS OVER THREE FEET IN HEIGHT ABOVE THE ELEVATION OF THE LOWEST POINT ON THE CROWN OF THE ADJACENT ROADWAY WITHIN SAID TRIANGLE.

DRAINAGE MASTER PLAN NOTE

THE POLICY OF THE TOWN REQUIRES THAT ALL NEW DEVELOPMENT AND REDEVELOPMENT SHALL PARTICIPATE IN THE REQUIRED DRAINAGE IMPROVEMENTS AS SET FORTH BELOW:

1. DESIGN AND CONSTRUCT THE LOCAL DRAINAGE SYSTEM AS DEFINED BY THE PHASE III DRAINAGE REPORT AND PLAN.
2. DESIGN AND CONSTRUCT THE CONNECTION OF THE SUBDIVISION DRAINAGE SYSTEM TO A DRAINAGEWAY OF ESTABLISHED CONVEYANCE CAPACITY SUCH AS A MASTER PLANNED OUTFALL STORM SEWER OR MASTER PLANNED MAJOR DRAINAGEWAY. THE TOWN WILL REQUIRE THAT THE CONNECTION OF THE MINOR AND MAJOR SYSTEMS PROVIDE CAPACITY TO CONVEY ONLY THOSE FLOWS (INCLUDING OFFSITE FLOWS) LEAVING THE SPECIFIC DEVELOPMENT SITE. TO MINIMIZE OVERALL CAPITAL COSTS, THE TOWN ENCOURAGES ADJACENT DEVELOPMENTS TO JOIN IN DESIGNING AND CONSTRUCTING CONNECTION SYSTEMS. ALSO, THE TOWN MAY CHOOSE TO PARTICIPATE WITH A DEVELOPER IN THE DESIGN AND CONSTRUCTION OF THE CONNECTION SYSTEM.
3. EQUITABLE PARTICIPATION IN THE DESIGN AND CONSTRUCTION OF THE MAJOR DRAINAGEWAY SYSTEM THAT SERVES THE DEVELOPMENT AS DEFINED BY ADOPTED MASTER DRAINAGEWAY PLANS (SECTION 3.3.2 OF THE ARAPAHOE DRAINAGE CRITERIA MANUAL) OR AS REQUIRED BY THE TOWN AND DESIGNATED IN THE PHASE III DRAINAGE REPORT.

PRIVATE OPEN SPACE

- A. THE PRIVATE PARK SITE AS SHOWN ON THIS PLAT (PLAN) SHALL BE MAINTAINED IN PERPETUITY BY THE OWNER(S), HOMEOWNERS ASSOCIATION, AND/OR ENTITY OTHER THAN THE TOWN.
- B. BUILDING PERMITS WILL BE ISSUED FOR ONLY ONE-HALF OF THE LOTS IN THIS SUBDIVISION UNTIL THE PARK FACILITIES HAVE BEEN INSTALLED IN ACCORDANCE WITH THE APPROVED PLAN.

100 YEAR FLOODPLAIN NOTES

THE SUBJECT PROPERTY IS LOCATED IN AN AREA DESIGNATED AS ZONE X, (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN, ZONE X (SHADED), AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AND ZONE A, 100 YEAR FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED. ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NO. 08050C-0431 K, DATED DECEMBER 17, 2010, ZONE LIMITS AS SHOWN HEREON ARE SCALED FROM SAID MAP AND ARE APPROXIMATE.

FINAL PLAT WILLOWCROFT MANOR

FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M., TOWN OF COLUMBINE VALLEY, COUNTY OF ARAPAHOE, STATE OF COLORADO

SHEET 1 OF 3

TOTAL AREA = 620,225 SQ FT, OR 14.24 ACRES, MORE OR LESS

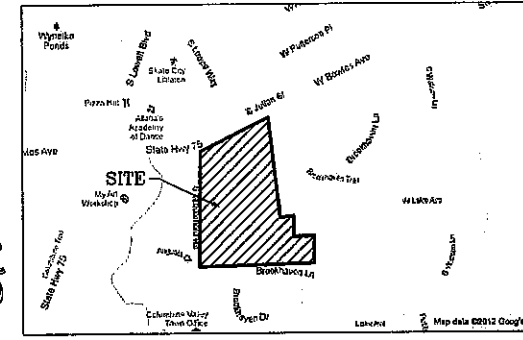
Notes

1. FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NUMBER 5509-2073162, DATED APRIL 2, 2013 AT 5:00 P.M., AND COMMITMENT NUMBER NCS-546274-1, DATED FEBRUARY 13, 2013 WAS ENTIRELY RELIED UPON FOR RECORDED INFORMATION REGARDING RIGHTS-OF-WAY, EASEMENTS AND ENCUMBRANCES IN THE PREPARATION OF THIS SURVEY. THE PROPERTY SHOWN AND DESCRIBED HEREON IS ALL OF THE PROPERTY DESCRIBED IN SAID TITLE COMMITMENTS.
2. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
3. BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF SOUTH 88°21'14" WEST ALONG THE NORTHERLY LINE OF TRACT B AND TRACT J, BLOCK 3, FIRST ADMINISTRATIVE AMENDMENT BROOKHAVEN AT COLUMBINE VALLEY, BETWEEN A FOUND 1" YELLOW PLASTIC CAP "PLS 28288" AT THE NORTHEAST CORNER OF TRACT J AND A FOUND #4 REBAR AT THE NORTHWEST CORNER OF TRACT B AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
4. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT AND/OR BOUNDARY MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE C.R.S. SEC 18-4-508.
5. THE DISTANCE MEASUREMENTS SHOWN HEREON ARE U.S. SURVEY FOOT.
6. DATES OF FIELD WORK: JULY 19 & 20, 2012, SEPTEMBER 4, 2012 (BROOKHAVEN PLACE INTERSECTION ADDED), FEBRUARY 26 & 27, 2013 AND APRIL 10, 2013.
7. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE COMMITMENT NO. 5509-2073162, DATED APRIL 2, 2013 AT 5:00 P.M. AND APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE COMMITMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

#11	JULY 30, 1986	REC#2701135	ORDINANCE 11, SERIES OF 1986, FOR ANNEXING A PARCEL OF LAND TO THE CITY OF LITTLETON (NORTH OF SUBJECT PARCEL)
	FEB 17, 1987	REC#2795116	
	NOV 23, 1987	REC#2913949	
8. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 620,225 SQ. FT. OR 14.24 ACRES, MORE OR LESS. AREA AS SHOWN HEREON IS A RESULTANT FACTOR, NOT A DETERMINATIVE FACTOR, AND MAY CHANGE SIGNIFICANTLY WITH MINOR VARIATIONS IN FIELD MEASUREMENTS OR THE SOFTWARE USED TO PERFORM THE CALCULATIONS. FOR THIS REASON, THE AREA IS SHOWN AS A "MORE OR LESS" FIGURE, AND IS NOT TO BE RELIED UPON AS AN ACCURATE FACTOR FOR REAL ESTATE SALES PURPOSES.
9. OWNERSHIP INFORMATION IS PER ARAPAHOE COUNTY ASSESSORS OFFICE AS RESEARCHED ON FEBRUARY 17, 2013 AND IS SUBJECT TO CHANGE.
10. ACCESS TO LOT 42 IS TO BE PROVIDED ACROSS TRACT E OF THIS PLAT AND ACROSS TRACT B BLOCK 3 OF FIRST ADMINISTRATIVE AMENDMENT BROOKHAVEN AT COLUMBINE VALLEY AS PER NOTE 9 OF SAID PLAT. EASEMENT AGREEMENT RECEPTION NO. D4001525 WILL BE ADDED AND LEGAL DESCRIPTION REVISED TO NOTE APPURTENANT EASEMENT AT TIME OF EASEMENT AGREEMENT D4001525.
11. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE COMMITMENT NO. 5509-2073162, DATED APRIL 2, 2013 AT 5:00 P.M. AND DO NOT APPEAR TO AFFECT THE SUBJECT PROPERTY BUT CANNOT BE SHOWN GRAPHICALLY. THE FOLLOWING LIST CONTAINS THE TITLE COMMITMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

#7	OCT 10, 1914	BK 82, PG 475	AGREEMENT DEED
	AUG 14, 1998	REC.# A8129061	
12. THE FOLLOWING DOCUMENTS ARE MENTIONED IN THE ABOVE REFERENCED TITLE COMMITMENT NO. 5509-2073162, DATED APRIL 2, 2013 AT 5:00 P.M. AND DO NOT APPEAR TO AFFECT THE SUBJECT PROPERTY. THE FOLLOWING LIST CONTAINS THE TITLE COMMITMENT EXCEPTION NUMBER, DATE RECORDED, RECEPTION NUMBER AND/OR BOOK AND PAGE.

#14	JULY 19, 2000	REC#B0057706	UTILITY EASEMENT
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13. THIS MINOR AMENDMENT TO THE FINAL PLAT OF WILLOWCROFT MANOR AS RECORDED IN THE OFFICE OF THE ARAPAHOE COUNTY CLERK AND RECORDER AT RECEPTION NO. D3151383, ON DECEMBER 23, 2013, REVISES THE RIGHT-OF-WAY DEDICATION ALONG SOUTH MIDDLEFIELD ROAD (TRACT A), ADDS THE RECORDED INFORMATION TO NOTE #10 AND ADDS ADDITIONAL RECORDED EASEMENTS AND RECORDING INFORMATION TO SHEET 2. ALL OTHER PROVISIONS OF THE RECORDED PLAT REMAIN IN EFFECT.



Vicinity Map
NOT TO SCALE

Drawing Index

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 3
BOUNDARY INFORMATION	2 OF 3
LINE AND CURVE TABLES	3 OF 3

OWNERS

TAYLOR MORRISON OF COLORADO, INC.
1420 W. CANAL COURT, STE. 170
LITTLETON, CO 80120
303-798-3500

HENRY W. GRIMM JR.
647 LAREDO
AURORA, CO 80011
303-366-6531

ENGINEER

ENERTIA CONSULTING GROUP, LLC.
1437 LARIMER ST.
DENVER, CO 80202
303-226-1251

SURVEYOR

FLATRONS INC.
3825 IRIS AVENUE, SUITE 395
BOULDER, CO 80301
303-443-7001

Boundary Closure Report

Course: N00°31'33"E	Length: 833.85'
Course: N63°38'05"E	Length: 222.38'
Course: N63°38'05"E	Length: 40.00'
Course: N67°35'37"E	Length: 19.37'
Course: N63°38'14"E	Length: 78.10'
Course: N61°21'48"E	Length: 34.40'
Course: N63°38'05"E	Length: 203.90'
Course: S04°11'39"E	Length: 649.47'
Course: S04°10'21"E	Length: 89.41'
Course: N84°13'23"E	Length: 100.18'
Course: S00°20'00"W	Length: 152.16'
Course: N87°39'57"E	Length: 150.59'
Course: S00°02'25"E	Length: 202.23'
Course: S88°21'14"W	Length: 847.27'
North: 1645258.97'	East: 3116729.85'

Perimeter: 3623.31' Area: 620,225 Sq. Ft.
Error Closure: 0.01 Course: N35°13'23"E
Error North: 0.008 East: 0.005

Precision 1: 362332.00

Description of Tracts

TRACT	USE	OWNERSHIP	MAINTENANCE	AREA
A	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	15,736 SQ. FT. OR 0.36 ACRES MORE OR LESS
B	OPEN SPACE/STORM DRAINAGE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	59,008 SQ. FT. OR 1.35 ACRES MORE OR LESS
C	ACCESS & UTILITY EASEMENT	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	2,175 SQ. FT. OR 0.05 ACRES MORE OR LESS
D	OPEN SPACE/STORM DRAINAGE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	18,889 SQ. FT. OR 0.43 ACRES MORE OR LESS
E	EMERGENCY ACCESS, OPEN SPACE, UTILITIES & DRIVEWAY ACCESS TO LOT 42	TOWN OF COLUMBINE	BY THE HOA AS DETAILED IN HOA COVENANTS	32,797 SQ. FT. OR 0.75 ACRES MORE OR LESS
F	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	6,243 SQ. FT. OR 0.14 ACRES MORE OR LESS
G	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	9,819 SQ. FT. OR 0.22 ACRES MORE OR LESS
H	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	13,131 SQ. FT. OR 0.31 ACRES MORE OR LESS
I	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	9,658 SQ. FT. OR 0.22 ACRES MORE OR LESS
J	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	1,245 SQ. FT. OR 0.03 ACRES MORE OR LESS
K	OPEN SPACE	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	944 SQ. FT. OR 0.02 ACRES MORE OR LESS
L	OPEN SPACE	TOWN OF COLUMBINE	BY THE HOA AS DETAILED IN HOA COVENANTS	8,841 SQ. FT. OR 0.20 ACRES MORE OR LESS

Certificate of Ownership and Dedication

WE, KIP W. GILLELAND OF TAYLOR MORRISON OF COLORADO, INC.

AND _____ OF _____ BEING THE OWNERS OF THE LAND DESCRIBED HEREON UNDER THE NAME OF WILLOWCROFT MANOR, HAVE LAID OUT, PLATTED AND/OR SUBDIVIDED THE SAME AS SHOWN THIS PLAT AND DO HEREBY DEDICATE TO THE PUBLIC AT LARGE THE STREETS, ALLEYS, ROADS AND OTHER PUBLIC AREAS AS SHOWN HEREON AND HEREBY DEDICATED THOSE PORTIONS OF LAND LABELED AS EASEMENTS FOR THE INSTALLATION AND MAINTENANCE OF PUBLIC UTILITIES AS SHOWN HEREON.

IN WITNESS WHEREOF KIP W. GILLELAND OF TAYLOR MORRISON OF COLORADO, INC. HAS SUBSCRIBED THEIR NAME THIS _____ DAY OF _____ AD 20____.

BY: _____ OWNER(S)
NOTARIAL

STATE OF COLORADO
SS. COUNTY OF ARAPAHOE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ AD 20____ BY:

MY COMMISSION EXPIRES: _____

MY ADDRESS IS _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

(SEAL)

IN WITNESS WHEREOF _____ OF _____ HAS SUBSCRIBED THEIR NAME THIS _____ DAY OF _____ AD 20____.

BY: _____ OWNER(S)
NOTARIAL

STATE OF COLORADO
SS. COUNTY OF ARAPAHOE

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____ AD 20____ BY:

MY COMMISSION EXPIRES: _____

MY ADDRESS IS _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

(SEAL)

Board of Trustees Approval

THIS FINAL PLAT WAS APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF COLUMBINE VALLEY, COLORADO, THIS _____ DAY OF _____ AD _____.

MAYOR: TOWN OF COLUMBINE VALLEY

ATTEST: TOWN CLERK

Certificate of Taxes Paid

I, THE UNDERSIGNED DO HEREBY CERTIFY THAT THE ENTIRE AMOUNT OF TAXES AND ASSESSMENTS DUE AND PAYABLE AS OF _____ UPON ALL PARCELS OF REAL ESTATE DESCRIBED ON THIS PLAT ARE PAID IN FULL THIS _____ DAY OF _____ AD 20____.

County Clerk and Recorder's Acceptance

THIS PLAT WAS ACCEPTED FOR FILING IN THE OFFICE OF THE CLERK AND RECORDER OF ARAPAHOE COUNTY, COLORADO, ON THIS _____ DAY _____ AD 20____.

RECEPTION NUMBER _____ TIME _____ BOOK _____ PAGE _____

DATE _____ COUNTY CLERK

Surveyor's Statement

I, JOHN B. GUYTON, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE FIRST ADMINISTRATIVE AMENDMENT TO THE FINAL PLAT OF WILLOWCROFT MANOR WAS MADE BY ME OR DIRECTLY UNDER MY SUPERVISION ON JULY 13, 2015; AND THAT THE ACCOMPANYING PLAT ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION AND THE SURVEY THEREOF.

JOHN B. GUYTON DATE _____
COLORADO P.L.S. #16406 FSI JOB NO. 15-65,962
CHAIRMAN/CEO, FLATRONS, INC.

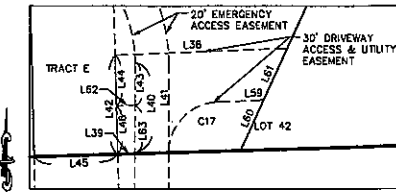
SHEET 1 OF 3 NOTES & SIGNATURES

DRAWN BY: E. PRESCOTT	DATE: JULY 13, 2015	FSI JOB NO. 15-65,962	DATE: 8/13/2015
3825 IRIS AVE, STE 395 BOULDER, CO 80301 PH: (303) 443-7001 FAX: (303) 443-9830		655 FOURTH AVE LONGMONT, CO 80501 PH: (303) 776-1733 FAX: (303) 776-4355	
www.Flratrons.com		REVISIONS: CHECKED BY: TC,JK/LZG	

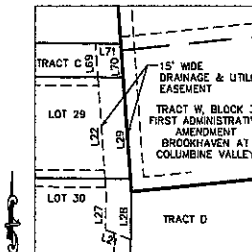
FINAL PLAT WILLOWCROFT MANOR FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT

LOCATED IN THE NORTHWEST QUARTER
OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
TOWN OF COLUMBINE VALLEY, COUNTY OF ARAPAHOE,
STATE OF COLORADO

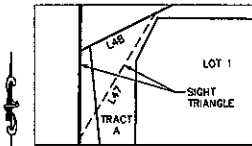
SHEET 2 OF 3



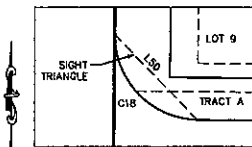
Detail A
SCALE: 1" = 50'



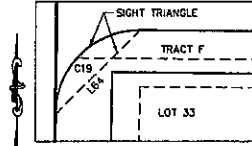
Detail B
SCALE: 1" = 50'



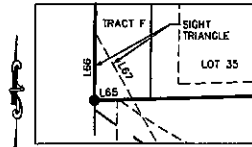
Detail C
SCALE: 1" = 30'



Detail D
SCALE: 1" = 30'

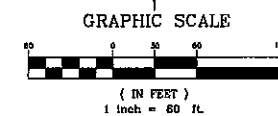
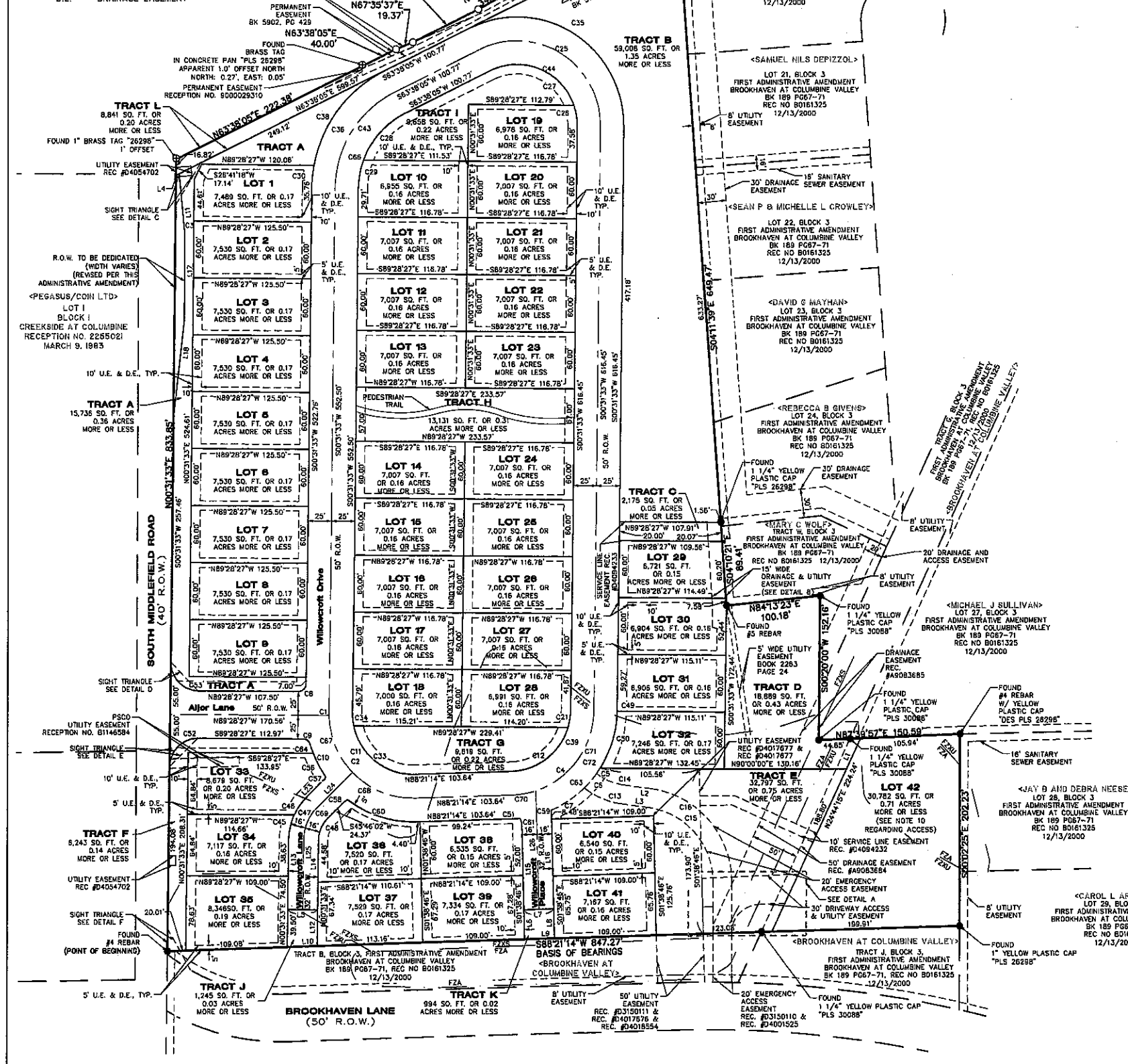


Detail E
SCALE: 1" = 30'



Detail F
SCALE: 1" = 30'

- Legend**
- FOUND MONUMENT AS DESCRIBED
 - ⊙ FOUND BRASS TAG AS DESCRIBED
 - CALCULATED POSITION (NOT FOUND OR SET)
 - FZXU FLOOD ZONE X: (UNSHADED)
 - FZX FLOOD ZONE X: (SHADED)
 - FZA FLOOD ZONE : A
 - UTILITY EASEMENT
 - - - UTILITY EASEMENT
 - - - DRAINAGE EASEMENT



SHEET 2 OF 3
BOUNDARY INFORMATION

DRAWN BY: E. PRESCOTT	Flatrons, Inc. <i>Surveying, Engineering & Geomatics</i>	EP 8/13/2015	
DATE: JULY 13, 2015	3825 IRIS AVE, STE 395 BOULDER, CO 80301 PH: (303) 443-7001 FAX: (303) 443-9830	855 FOURTH AVE LONGMONT, CO 80501 PH: (303) 776-1733 FAX: (303) 776-4355	INT: DATE: REVISIONS: CHECKED BY: TC/JK/JZG
FSI JOB NO. 15-65.962	www.FlatronsInc.com		

FINAL PLAT
WILLOWCROFT MANOR
FIRST ADMINISTRATIVE AMENDMENT, A MINOR AMENDMENT
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 20, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE 6TH P.M.,
 TOWN OF COLUMBINE VALLEY, COUNTY OF ARAPAHOE, STATE OF COLORADO
 SHEET 3 OF 3

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	3.26	90.00	002°04'41"	S00°30'47"E	3.26
C2	144.78	90.00	092°10'19"	S45°33'37"E	129.67
C3	28.66	283.00	005°48'12"	N02°37'20"W	28.65
C4	137.95	90.00	087°49'42"	N44°26'24"E	124.84
C5	6.92	115.00	003°26'46"	N34°07'41"E	6.92
C6	20.07	115.00	009°59'51"	N40°50'59"E	20.04
C7	42.55	115.00	021°11'51"	N56°26'49"E	42.30
C8	12.57	8.00	090°00'00"	N45°31'33"E	11.31
C9	10.17	8.00	072°51'11"	N53°02'52"W	9.50
C10	38.70	115.00	019°16'48"	S26°15'40"E	38.51
C11	104.57	65.00	092°10'21"	S45°33'36"E	93.65
C12	81.26	65.00	071°37'40"	N52°32'24"E	76.07
C13	44.34	85.00	029°53'13"	S67°17'48"E	43.84
C14	32.79	65.00	028°54'00"	S67°47'25"E	32.44
C15	114.83	80.00	082°14'25"	N41°07'12"W	105.22
C16	143.54	100.00	082°14'25"	N41°07'12"W	131.53
C17	45.94	30.00	087°43'52"	S43°51'58"W	41.58
C18	47.12	30.00	090°00'00"	S44°28'27"E	42.43
C19	47.12	30.00	090°00'00"	S45°31'33"W	42.43
C21	18.38	65.00	016°12'01"	N08°37'34"E	18.32
C25	183.61	90.00	116°53'28"	N57°55'11"W	153.39
C26	22.89	65.00	020°10'35"	N09°33'45"W	22.77
C27	109.72	65.00	098°42'53"	N68°00'29"W	97.15
C28	88.23	90.00	043°28'22"	S41°54'54"W	66.61
C29	30.90	90.00	019°40'10"	S10°21'38"W	30.75
C30	24.36	140.00	009°58'10"	S05°30'38"W	24.33
C33	90.24	65.00	079°32'49"	S51°52'22"E	83.17
C34	14.32	65.00	012°37'32"	S05°47'11"E	14.29
C35	234.62	115.00	116°53'28"	N57°55'11"W	195.99
C36	154.20	140.00	063°06'32"	S32°04'49"W	146.53

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C38	129.84	140.00	053°08'22"	S37°03'54"W	125.24
C39	99.64	65.00	087°49'42"	N44°26'23"E	90.17
C43	126.67	115.00	063°06'32"	S32°04'49"W	120.38
C44	132.61	65.00	116°53'28"	N57°55'11"W	110.78
C45	27.02	63.50	024°23'00"	S12°43'03"W	26.82
C46	23.12	63.50	020°51'29"	S35°20'18"W	22.99
C47	50.14	63.50	045°14'29"	S23°08'48"W	48.85
C48	24.87	31.50	045°14'29"	S23°08'48"W	24.23
C49	0.73	115.00	000°21'57"	N00°42'35"E	0.73
C50	63.25	115.00	031°30'45"	N16°38'55"E	62.46
C51	7.63	115.00	003°48'07"	N86°27'07"E	7.63
C52	47.12	30.00	090°00'00"	S45°31'33"W	42.43
C53	47.12	30.00	090°00'00"	S44°28'27"E	42.43
C56	28.76	115.00	014°19'42"	S28°44'13"E	28.68
C57	4.77	17.00	016°03'52"	N37°44'06"E	4.75
C58	4.77	17.00	016°03'52"	S53°47'58"W	4.75
C59	0.92	17.00	003°05'26"	S00°06'03"E	0.92
C60	78.44	115.00	039°04'54"	S72°06'19"E	76.93
C61	7.63	115.00	003°48'07"	N86°27'07"E	7.63
C63	89.53	115.00	034°38'27"	N49°43'31"E	88.48
C64	9.94	115.00	004°57'06"	S19°05'49"E	9.94
C66	99.13	90.00	063°06'32"	S32°04'49"W	94.20
C67	67.04	90.00	042°40'50"	S22°53'33"E	65.50
C68	74.48	90.00	047°24'48"	S67°56'22"E	72.37
C69	37.51	47.50	045°14'29"	S23°08'48"W	36.54
C70	26.13	90.00	016°38'04"	N80°02'13"E	26.04
C71	111.83	90.00	071°11'38"	N36°07'22"E	104.77
C72	69.53	114.99	034°38'37"	N49°43'33"E	68.48

Parcel Line Table		
Line #	Length	Direction
L1	35.43	N24° 44' 15"E
L2	28.37	N82° 14' 25"W
L3	28.37	S82° 14' 25"E
L4	3.96	N63° 38' 05"E
L5	32.00	N89° 28' 27"W
L6	31.05	S01° 38' 46"E
L7	32.00	S88° 21' 14"W
L8	31.05	S01° 38' 46"E
L9	32.00	S88° 21' 14"W
L10	32.00	S88° 21' 14"W
L11	49.82	N05° 31' 26"W
L12	38.28	N00° 31' 33"E
L13	73.63	S00° 31' 33"W
L14	73.63	S00° 31' 33"W
L15	88.23	N01° 38' 46"W
L16	103.18	S01° 38' 46"E
L17	76.82	N00° 16' 46"E
L18	102.87	N06° 29' 21"E
L21	16.02	N68° 56' 19"W
L22	68.40	N04° 10' 21"W
L23	24.37	N45° 46' 02"E
L24	52.87	N45° 46' 02"E
L25	73.63	N00° 31' 33"E
L26	125.00	S01° 38' 46"E
L27	22.11	S00° 31' 33"W
L28	28.22	N00° 33' 44"E
L29	67.78	S04° 10' 21"E
L32	11.00	S89° 28' 27"E
L34	11.00	N88° 21' 14"E
L37	7.00	S01° 38' 46"E

Parcel Line Table		
Line #	Length	Direction
L38	102.65	S87° 43' 52"W
L39	10.21	S88° 21' 14"W
L40	53.60	S00° 00' 00"E
L41	53.02	N00° 00' 00"W
L42	58.49	S01° 38' 46"E
L43	24.98	S00° 00' 00"E
L44	30.00	S01° 38' 46"E
L45	50.00	S88° 21' 14"W
L46	28.49	S01° 38' 46"E
L47	52.10	S31° 25' 44"W
L48	30.00	S63° 38' 05"W
L50	42.43	S44° 28' 27"E
L59	27.80	S87° 43' 52"W
L60	32.86	S24° 44' 15"W
L61	33.67	S24° 44' 15"W
L62	11.03	S87° 43' 52"W
L63	28.62	S00° 00' 00"E
L64	42.43	N45° 31' 33"E
L65	13.85	S88° 21' 14"W
L66	23.91	N00° 31' 33"E
L67	27.08	S29° 43' 26"E
L69	20.07	N04° 10' 21"W
L70	20.07	N04° 10' 21"W
L71	15.05	N89° 28' 27"W

SHEET 3 OF 3
LINE AND CURVE TABLES

DRAWN BY: E. PRESCOTT	 Flatirons, Inc. Surveying, Engineering & Geomatics	DATE: JULY 13, 2015	3825 IRIS AVE, STE 395 BOULDER, CO 80501 PH: (303) 443-7001 FAX: (303) 443-9930	655 FOURTH AVE LONGMONT, CO 80501 PH: (303) 778-1733 FAX: (303) 778-4355	EP 8/13/2015 EP 7/16/2015
FSI JOB NO. 15-65,982		INT. DATE:	REVISIONS:	CHECKED BY: TC/UK/JZG	



Request for Board of Trustee Action

- Date:** August 18, 2015
- Title:** Columbine Country Club Combine Approval Process
- Presented By:** Phil Sieber, Town Planner
- Prepared By:** Phil Sieber, Town Planner
- Background:** The Country Club is expected to submit their formal application for development approval sometime in September or October. This will be for approval of their plans for the new clubhouse and accessory buildings as well as a new site plan. The Land Use Regulations require a two-step process, approval of a preliminary development plan and then approval of the final plan. The Town staff is requesting an exemption from the requirement for a preliminary plan. If approved the Club would submit an application for final plan approval only.
- The purpose of the two step process is to review the basic elements of the development proposal and assess the possible impacts on the community. Typically, the preliminary plan “locks in” the density or maximum square footage, the setbacks, the building heights, the primary access points and the scope of the public improvements that will be required.
- The staff is of the opinion that the new plan will not add traffic, there will not be any new public streets or major drainage facilities and the setbacks will be within those allowed by the present zoning regulations. There may be a revision to the existing building height standard but that issue could be resolved without requiring a full preliminary plan submittal.
- It may be that the Club will elect to proceed with the two-step process. This request is only in the event they would prefer a single step.
- Staff Recommendations:** Approve an exception to Article VI, Section 2 to allow the staff to accept an application for Final Plan approval for the Columbine Country Club and waive the requirement for a Preliminary Plan.
- Recommended Motion:** “I move to approve an exception to Article VI, Section 2 allowing the staff to accept an application for Final Plan approval for the Columbine Country Club and waive the requirement for a Preliminary Plan.”



Request for Board of Trustee Action

Date: August 18, 2015

Title: Joint Study Session with the P & Z

Presented By: Phil Sieber, Town Planner

Prepared By: Phil Sieber, Town Planner

Background: The Hines Company potential developers of Wild Plum Farm (Tuck) property has indicated to us that they will be utilizing a form of special district (Metropolitan District) to finance the infrastructure for the project. While the P&Z members and Trustees have some familiarity with special districts, we have never had any experience with a Metro District in Columbine Valley. Therefore we have scheduled a study session for this purpose.

We are fortunate to have as our guest, Ed Icenogle, attorney with Icenogle, Seaver and Pogue. Ed has years of experience in the formation and administration of special districts and is a resident of Columbine Valley.

While this is technically scheduled as a Planning and Zoning Commission study session, it is our hope that the Trustees will attend. Please let J.D. or me know if you can attend.

Attachments: None

Fiscal Impacts: None

Staff Recommendations: None

Recommended Motion: None



Quote	QUO-11547-H3Y3R8
Date	6/24/2015
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4	001-0950-00	VuLink, Standard Kit	\$495.00	\$0.00		\$1,980.00
1	860-00151-00	VuVault Software DVD	\$595.00	\$595.00	\$595.00	\$0.00

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