#### LEGAL DESCRIPTION (PREPARED BY AZTEC CONSULTANTS)

TRACT 1:

A TRACT OF LAND IN SOUTH 1/2 NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:

COMMENCING AT CORNER NUMBER 1 LOCATED IN THE NEVADA DITCH, 6 FEET WEST FROM CENTER OF NORTHEAST 1/4 OF SAID SECTION 30, THENCE IN A SOUTHWESTERLY DIRECTION ALONG THE CENTER OF SAID DITCH 1440 FEET, MORE OR LESS, TO CORNER NUMBER 2, THE POINT OF INTERSECTION OF CENTERLINE OF SAID DITCH WITH SOUTH LINE OF NORTHEAST 1/4 OF SAID SECTION 30, SAID CORNER NUMBER 2 BEING 468 FEET, MORE OR LESS, WEST FROM SOUTHWEST CORNER OF SOUTHEAST 1/4 NORTHEAST 1/4 OF SAID SECTION 30, THENCE EAST ALONG SOUTH LINE 1156.6 FEET MORE OR LESS TO CORNER NUMBER 3, THENCE NORTH 1320 FEET TO CORNER NUMBER 4, THENCE WEST 676.5 FEET, MORE OR LESS, TO CORNER NUMBER 1, THE PLACE OF BEGINNING,

COUNTY OF ARAPAHOE, STATE OF COLORADO.

#### TRACT 2:

NORTHWEST 1/4 NORTHWEST 1/4 OF SECTION 29, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN AND THAT PART OF THE NORTHEAST 1/4 NORTHEAST 1/4 OF SECTION 30. TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN LYING EAST OF THE NEVADA DITCH,

COUNTY OF ARAPAHOE, STATE OF COLORADO.

#### TRACT 3:

A TRACT OF LAND IN THE NORTHEAST 1/4 NORTHEAST 1/4 OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF ARAPAHOE, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 NORTHEAST 1/4 OF SAID SECTION 30, A PIN WITH CAP LS 9872

THENCE SOUTH 00 DEGREES 49 MINUTES 17 SECONDS WEST 975.96 FEET ALONG THE WEST LINE OF SAID NORTHEAST 1/4 NORTHEAST 1/4 TO THE TRUE POINT OF BEGINNING,

THENCE ALONG AN EXISTING FENCE LINE THE FOLLOWING EIGHTEEN (18) COURSES:

1) THENCE SOUTH 83 DEGREES 44 MINUTES 02 SECONDS EAST, 27.77 FEET 2) THENCE SOUTH 78 DEGREES 50 MINUTES 11 SECONDS EAST, 76.98 FEET 3) THENCE SOUTH 83 DEGREES 20 MINUTES 28 SECONDS EAST, 15.55 FEET 4) THENCE SOUTH 84 DEGREES 48 MINUTES 12 SECONDS EAST, 7.57 FEET, 5) THENCE NORTH 86 DEGREES 09 MINUTES 37 SECONDS EAST, 7.72 FEET, 6) THENCE NORTH 79 DEGREES 57 MINUTES 55 SECONDS EAST, 23.11 FEET 7) THENCE NORTH 57 DEGREES 36 MINUTES 54 SECONDS EAST, 17.48 FEET 8) THENCE NORTH 61 DEGREES 58 MINUTES 24 SECONDS EAST, 6.84 FEET, THENCE NORTH 41 DEGREES 02 MINUTES 15 SECONDS EAST, 6.33 FEET, 10) THENCE NORTH 35 DEGREES 52 MINUTES 22 SECONDS EAST, 7.67 FEET 11) THENCE NORTH 27 DEGREES 32 MINUTES 55 SECONDS EAST, 7.67 FEET 12) THENCE NORTH 19 DEGREES 51 MINUTES 32 SECONDS EAST, 7.74 FEET 13) THENCE NORTH 15 DEGREES 08 MINUTES 46 SECONDS EAST, 7.72 FEET 14) THENCE NORTH 05 DEGREES 54 MINUTES 46 SECONDS EAST, 6.66 FEET 15) THENCE NORTH 01 DEGREES 16 MINUTES 12 SECONDS WEST, 6.96 FEET, 16) THENCE NORTH 04 DEGREES 23 MINUTES 46 SECONDS EAST, 6.73 FEET, 17) THENCE NORTH 16 DEGREES 55 MINUTES 18 SECONDS WEST, 8.77 FEET, 18) THENCE NORTH 43 DEGREES 25 MINUTES 18 SECONDS EAST, 172.41 FEET TO THE INTERSECTION WITH THE CENTERLINE OF THE NEVADA DITCH,

THENCE ALONG THE CENTERLINE OF THE NEVADA DITCH THE FOLLOWING EIGHT (8) COURSES:

1) THENCE SOUTH 37 DEGREES 58 MINUTES 45 SECONDS EAST, 79.24 FEET 2) THENCE SOUTH 47 DEGREES 17 MINUTES 26 SECONDS EAST, 88.46 FEET

3) THENCE SOUTH 15 DEGREES 04 MINUTES 07 SECONDS EAST, 26.93 FEET

4) THENCE SOUTH 29 DEGREES 11 MINUTES 51 SECONDS WEST, 38.95 FEET

5) THENCE SOUTH 53 DEGREES 40 MINUTES 23 SECONDS WEST, 126.61 FEET

6) THENCE SOUTH 53 DEGREES 02 MINUTES 34 SECONDS WEST, 262.80 FEET

7) THENCE SOUTH 73 DEGREES 18 MINUTES 03 SECONDS WEST, 41.76 FEET 8) THENCE SOUTH 55 DEGREES 21 MINUTES 10 SECONDS WEST, 79.16 FEET TO THE INTERSECTION WITH THE WEST LINE OF SAID NORTHEAST 1/4 NORTHEAST 1/4,

THENCE NORTH 00 DEGREES 49 MINUTES 17 SECONDS EAST, 289.36 FEET ALONG SAID WEST LINE TO THE TRUE POINT OF BEGINNING,

COUNTY OF ARAPAHOE, STATE OF COLORADO.

CONTAINING AND AREA OF 104.283 ACRES, (4,542,589 SQUARE FEET), MORE OR LESS.

#### **STANDARD NOTES**

The Owner(s) of the WILD PLUM FARM known as WILD PLUM FARM, their respective successors, heirs and/or assigns agree to the following:

#### Improvements Completed

That no development, construction or improvements shall be certified for occupancy unless and until all required public improvements, as defined within the Subdivider Improvements Agreement for this plan are in place and accepted, or a deferment has been approved, by the Town of Columbine Valley.

#### **Emergency and Service Vehicle Access**

The emergency and service vehicle access easement(s) shown hereon shall be constructed and maintained by the owner and subsequent owners, heirs, successors and assigns or HOA. In the event that such construction and maintenance is not performed by said owner, the Town of Columbine Valley shall have the right to enter such easements and perform necessary work, the cost of which said owner, heirs, successors and assigns agree to pay upon billing.

#### Storm Drainage Easements

When stormwater drainage easement(s) are required, the following language shall appear on the face of the plan:

"The stormwater drainage easement(s) shown hereon is (are) for the purpose of access, operation, maintenance, repair and alternation of the stormwater quantity and quality management system/facilities included within the said easement(s). The operation, maintenance and repair of such stormwater management system/facilities shall be the responsibility of the owner and subsequent owners, heirs, successors and assigns or HOA (Homeowners Association). In the event that the operation, maintenance and repair of the stormwater management system/facilities are not performed by said owner, the Town of Columbine Valley shall have the right to allow the HOA to enter such easement(s) and perform the necessary work, the cost of which said owner, heirs, successor and assigns agree to pay upon billing. Any claims and resulting judgments for damage to downstream properties caused by the lack of adequate maintenance being performed by the said property owner shall be borne solely by the said property owner. The property owner hereby releases, indemnifies and holds harmless the Town of Columbine Valley from any and all liability resulting from the lack of adequate maintenance of said stormwater management system/facilities. No buildings, fills, excavations, structures, fences or other alterations shall be constructed within a stormwater drainage easement(s) without the express written consent of the Town."

#### Street Maintenance

It is mutually understood and agreed that the dedicated roadways shown on this plan will not be maintained by the Town until and unless the streets are constructed in accordance with the subdivision regulations in effect at the date construction plans are approved, and provided construction of said roadways is started within one year of the construction plan approval. The owner and subsequent owners, heirs, successors and assigns or HOA shall be responsible for street maintenance until such time as the Town accepts the responsibility for maintenance as stated above.

#### Landscape Maintenance

The owners, their successors and/or assigns in interest or other entity other than the Town of Columbine Valley shall be responsible for maintenance and upkeep of the perimeter fencing, landscaped areas and sidewalks within the public ROW adjacent to this Planned Development

The owners, their successors and/or assigns in interest other than the Town shall be responsible to maintain all common open space and other landscaped areas associated with this development.

#### Sight Triangle Maintenance/Clearance

Corner vision clearance requirement: No fence, wall, hedge, shrub, structure or other obstruction to view that is more than forty-two inches (42") in height shall be erected, placed or maintained within a triangle formed by the point of intersection of lot lines abutting a street and the points located along the lot lines thirty feet (30') from the point of intersection.

#### **Drives, Parking Area and Utility Easements Maintenance**

The owners, their successors and/or assigns in interest other than the Town of Columbine Valley shall be responsible for maintenance and upkeep of any and all drives, parking areas and easements (i.e., cross access easements, drainage easements, etc.).

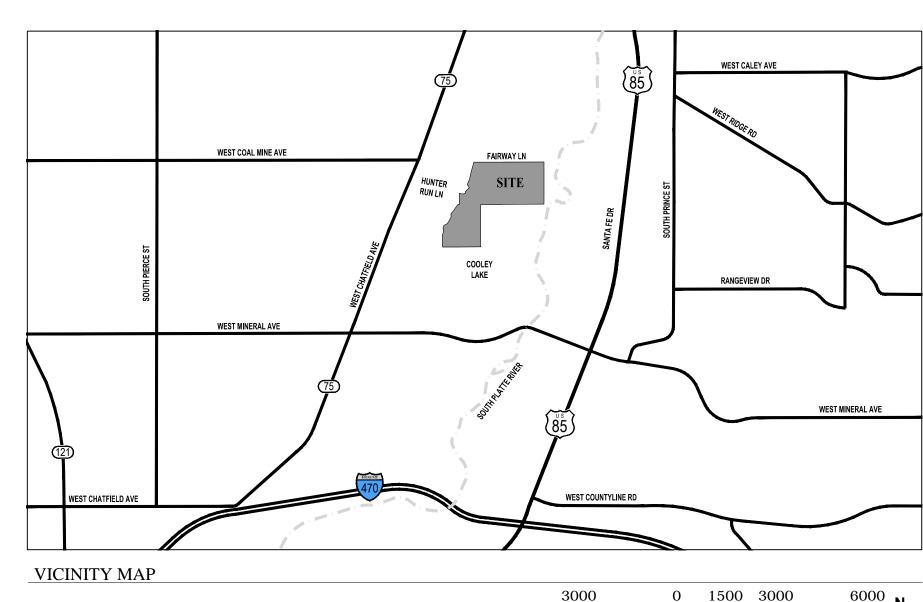
#### **Private Street Maintenance (If Applicable)**

It is mutually understood and agreed that the private roadways shown on this plan that are not in conformance with the Town of Columbine Valley roadway design and construction standards will not be maintained by the Town until and unless the streets are constructed in conformance with the Town's regulations in effect at the date of the request for dedication. The owners, developers and/or subdividers, their successors and/or assigns in interest, or HOA shall be responsible for street maintenance until such time as the Town accepts responsibility for maintenance as stated above.

## Wild Plum $\begin{array}{c} \mbox{Preliminary Development Plan} \\ \mbox{A Part of the NE} \frac{1}{4} \mbox{ of Section 30 and the NW} \frac{1}{4} \mbox{ of Section 29,} \end{array} \end{array}$

Township 5 South, Range 68 West of the Sixth Principal Mertidan, County of Arapahoe, State of Colorado

104.828 Acres



#### AREA TABULATION

AREA TABULATION		
USE	AREA	% OF TOTAL
RIGHT-OF-WAY	8.92 ACRE	8.51 %
OPEN SPACE/TRACTS	48.38 ACRE	46.15 %
LOTTED AREA	47.53 ACRE	45.34 %
TOTAL	104.83 ACRE	100.00%

#### **DEVELOPMENT STIPULATIONS**

DEVELOPMENT STANDARDS	FILING 1*	FILING 2*
BUILDING HEIGHT MAX.	25'-0" FRONT ALONG FAIRWAY LANE. SINGLE STORY WALKOUTS ALLOWED	35'-0" (LIMITED TO TWO STORY)
MINIMUM LOT SIZE	20,000 Sq Ft	15,000 Sq Ft
SETBACKS	FILING 1*	FILING 2*
FRONT (TO GARAGE)	30'-0"	25'-0"
FRONT (TO LIVING SPACE / PORCH / SIDE LOADED GARAGE)	30'-0"	25'-0"
SIDE	15'-0"	15'-0"
SIDE TO STREET	15'-0"	15'-0"
REAR	40'-0"	25'-0"
REAR (TO OPEN SPACE)	40'-0"	15'-0"
MIN. DISTANCE BETWEEN BLDGS.	30'-0"	30'-0"
PARKING		
OFF STREET	2 SPACES PER	UNIT MIN.
VISITORS PARKING	ON STR	EET
SIGNAGE	NUMBER AND D	IMENSIONS
PROJECT IDENTIFICATION	2 PROJECT IDENTIFICATION SIGNS AT EACH ENTRY GATEWAY. ONE AT THE END OF HUNTER RUN LANE AND ONE AT THE ACCESS OFF OF FAIRWAY LANE	
DIRECTIONAL - INFORMATION - TEMPORARY	TO BE DETE	RMINED
WALLS, FENCES, HEDGES	TYPE, MATERIA	LS, HEIGHT
NORTH PROP. LINE	36" (TO TOP RAIL) - WOOD 3 RAIL FENCE ON OPEN SPACE TRACTS. OTHERWISE HOMES FRONT TO FAIRWAY LANE	
EAST, SOUTH, AND WEST PROPERTY LINE	48" - WOOD 3 F	AIL FENCE
EXTERIOR LIGHTING	HEIGHT AND FIX	TURE TYPE
STREET AND SECURITY LIGHTING	SHOWN ON FINAL DEV	/ELOPMENT PLAN

\*NOTE: FILING 1 WILL INCLUDE THE 11 LOTS FRONTING ON FAIRWAY LANE. FILING 2 WILL INCLUDE THE REMAINDER OF THE PROPERTY.

#### DESCRIPTION OF TRACTS

0	1500 3	000	<sup>6000</sup> N
( IN FEET	C) 1 inch	a =3000ft.	

#### MAYOR: TOWN OF CO

#### COUNTY (

#### SPECIAL NOTES

THE WILD PLUM DEVELOPMENT PLAN ILLUSTRATES A PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT WITH PROPOSED RIGHT-OF-WAY. SINGLE FAMILY LO AND OPEN SPACE AREAS. NO DEVELOPMENT WILL BE ALLOWED OR BUILDING PERMITS ISSUED UNTIL A SUBDIVISION PLAT(S) FOR THE PLANNING AREA ARE APPROVED.

- 1. THE TOTAL NUMBER OF UNITS SHALL NOT EXCEED THE MAXIMUM NUMBER INDICATED IN THE LAND USE TABULATION.
- 2. ENCROACHMENTS INTO THE SETBACK AREAS FOR ARCHITECTURAL FEATURES SUCH AS ROOF OVERHANGS, GUTTERS, WINDOW WELLS, BUILDING CANTILEVERS, CHIMNEYS, BAY WINDOWS, SIDING AND COUNTERFORTS AS WI AS ACCESSORY FEATURES SUCH AS AIR HANDLING UNITS, PATIOS AND DECKS ARE ACCEPTABLE. THE ENCROACHMENTS ARE ALLOWED AS DESCRIBED BEL
- 2.1. FRONT AND REAR YARD ENCROACHMENTS ARE ALLOWED UP TO 8 FEET. 2.2. SIDE YARD ENCROACHMENTS ARE ALLOWED UP TO 3 FEET.
- 3. THE STREET SIGNAGE SHALL CONFORM AND BE SIMILAR TO THE TOWN OF COLUMBINE VALLEY STREET SIGNAGE IN TYPE AND PLACEMENT.
- 4. COMMUNITY PARKING SHALL BE PROVIDED ON STREET THROUGHOUT THE NEIGHBORHOOD.
- 5. OPEN SPACE TRACTS SHALL BE DEDICATED TO THE WILD PLUM HOMEOWNERS ASSOCIATION OR THE METROPOLITAN DISTRICT BY FINAL PLAT.
- 6. STREET LIGHTING SHALL BE MAINTAINED BY THE WILD PLUM HOMEOWNERS ASSOCIATION OR THE METROPOLITAN DISTRICT.

#### LAND USE TABULATION

LAND USE: SINGLE FAMILY RESIDENTIAL MAXIMUM ALLOWABLE UNITS: 9 ALLOWABLE DENSITY: 1.0 DU/ACRE EXISTING ZONING DESIGNATION: RA (AGRICULTURE) PROPOSED ZONING DESIGNATION: PD (PLANNED DE

٦	TRACT	USE	OWNERSHIP	MAINTENANCE	AREA
	А	OPEN SPACE/DRAINAGE/TRAILS	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	1,878,873 SQ. FT. OR 43.133 ACRES MORE OR LESS
	В	OPEN SPACE/DRAINAGE/TRAILS	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	144,648 SQ. FT. OR 3.321 ACRES MORE OR LESS
	С	OPEN SPACE/DRAINAGE/TRAILS	HOA	BY THE HOA AS DETAILED IN HOA COVENANTS	83,966 FT. OR 1.928 ACRES MORE OR LESS

LOCATED ATXXXXXXXXXXXIN COLUMBINE VALLEY, COL	E OWNERS OF THE PROPERTY KNOWN AS XXXXXXXXXXXXXXX ORADO, WHICH PROPERTY DESCRIBED ON THIS PLAN AND E LEGAL RIGHT AND AUTHORITY TO REQUEST APPROVAL OF F COLUMBINE VALLEY.	<section-header></section-header>
BY, TAYLOR MORRISON OF COLOR   MY COMMISSION EXPIRES   MY ADDRESS IS   WITNESS MY HAND AND OFFICIAL SEAL.   NOTARY PUBLIC	COVAL E BOARD OF TRUSTEES OF THE TOWN OF COLUMBINE VALLEY,	sheet title Columbine Valley, Colorado
E MAXIMUM NUMBER CHITECTURAL FEATURES LS, BUILDING COUNTERFORTS AS WELL NTS, PATIOS AND DECKS VED AS DESCRIBED BELOW: ALLOWED UP TO 8 FEET. TO 3 FEET. AR TO THE TOWN OF ACEMENT. T THROUGHOUT THE PLUM HOMEOWNERS NAL PLAT. PLUM HOMEOWNERS ALLOWABLE UNITS: 95 MAXIMUM NG DESIGNATION: DN: PD (PLANNED DEVELOPMENT) CRES MORE OR LESS ES MORE OR LESS IORE OR LESS	<section-header><section-header><section-header><text><text></text></text></section-header></section-header></section-header>	sheet number Sheet 1 Cover

#### **Notes / Development Standards**

#### General Notes

- I. Statement of Intent
  - The purpose of this planned development is to develop approximately 105 acres, known as the Wild Plum Farm into a single family residential neighborhood that compliments the quality and character of the Town of Columbine Valley and the site's adjacent neighborhoods. The intent of this development is to develop 95 single family detached homes, representing a gross density of 0.9 DU/Acre across the property. The lots within Wild Plum will maintain an average lot size of  $\frac{1}{2}$  acre.

#### **II.** General Provisions

#### A. Conformance

Development of the Wild Plum community shall conform to all restrictions, regulations and procedures adopted by Ordinance by the Town of Columnbine Valley, at the time of platting and building permit application, except as expressly provided otherwise in this Planned Development Plan (PDP), together with the provisions contained within any Annexation Contract (as to the real property described within any said contract).

The provisions of this PDP shall prevail and govern the development of this planned community, except where the provisions of the PDP do not clearly address a specific subject. For subjects not addressed herein, the appropriate jurisdictional regulations and codes shall take precedence, and the most restrictive standards shall apply.

B. Density Variations

In no event shall the total number of 95 residential dwelling units within the Wild Plum planned development be exceeded. The total number of dwelling units actually developed within in a portion of community may be less than the number established on the Planned Development Plan. Remaining units may be transferred to other portions of the property in whole or in part, up to the maximum unit count of 95 units. In making such transfers, the lotted area as defined on the Area Tabulation chart of the Development Plan may change by up to twenty percent (20%) of the area defined, without needing to amend the Development Plan.

#### C. Land Use Parcel Boundaries

Lotted area boundaries are shown on the PDP, and are generally determined by their relationship to roads, open space and adjacent land uses. Modifications in lotted area boundaries and streets are permitted and will occur with planning and engineering refinement. Final lotting and tract boundaries and road alignments shall be determined and shown on a Final PDP or Plat, without any amendment to the PDP being required; provided the changes in the single family lotted area do not exceed 20 percent of the defined lotted area.

#### D. Administrative Changes

The graphic drawings contained within the Planned Development Plan are intended to depict general locations and illustrate concepts expressed in the narrative provisions of the PDP. They are not intended to be final or to represent the ultimate build out of Wild Plum, but rather, they are included to depict potential design solutions that will evolve within the community, as we move to the Final Development Plan stage.

It is the goal of this PDP to serve as a guiding document for the appropriate build out of the Wild Plum Community. Given the scale of the project, and the associated timeline it will take to entitle, it is important that this PDP be approved with an understanding of inherent flexibility.

In granting Plat and/or Final Development Plan approval the Town Board of Trustees shall allow variations for the purpose of establishing:

- 1. Final road alignment;
- 2. Final configuration of Lot and tract sizes and shapes;
- 3. Final Building envelopes; 4. Final access and parking locations;
- 5. Final parcel definitions;
- 6. Final signage / monument design and location; and
- 7. Landscaping adjustments

#### E. Metropolitan Districts

A metropolitan district is a quasi-governmental agency, separate and distinct from the Town, and, except as may otherwise be provided for by State or local law or its Service Plan, its activities are subject to review by the Town only insofar as they may deviate in a material matter from the requirements of the Service Plan, the Municipal Code, or the Intergovernmental Agreement. It is intended that the District will provide a part or all of the public improvements for the use and benefit of all anticipated inhabitants and taxpayers of the District. The primary purpose of the District will be to finance the construction of district improvements.

The District is also being created to provide ongoing operations and maintenance services as specifically set forth in its Service Plan and as may be stated in any applicable Intergovernmental Agreement.

F. Homeowner Associations

Homeowner Associations (HOAs) composed of property owners in residential areas may be created for the following purposes: a) to provide for the continued development, improvement and maintenance of properties and facilities which it owns or administers, and b) to protect the investment, enhance the value, and control the use of property owned by its members. At Wild Plum, a Homeowner's Association(s) shall be created to serve the purposes outlined above.

#### G. Underground Utility Requirements

All new electrical and communications distribution lines shall be placed underground, unless came cannot be accomplished by direct burial.

H. Soil Tests Soil test for building sites shall be provided at the time of building permit application for the purpose of establishing engineering criteria for building foundation design.

I. Roadway Design

The roadways shown within this Preliminary PDP are in general conformance with the Town's Street Design Criteria, and it is acknowledged that adherence with these Criteria will be required and reviewed at the time of final roadway design and submittal. If however, it is determined during the entitlement and design refinement process that alternative street sections may be beneficial to the community, these can be approved by the Town at the Final Development Plan stage without amendment of the PDP document.

J. Stormwater Management

The surface components, landscaping and ground cover, located in the storm water swales and detention areas, will be maintained by the Wild Plum Metropolitan District and/or Homeowners Association.

### Wild Plum Preliminary Development Plan

A Part of the NE  $\frac{1}{4}$  of Section 30 and the NW  $\frac{1}{4}$  of Section 29,

Township 5 South, Range 68 West of the Sixth Principal Mertidan,

County of Arapahoe, State of Colorado

104.828 Acres

#### **III.** Single Family Residential Use Areas

#### A. Filing 1 / Residential Use Area 1

i) Intent

The intent of this section is to define those single family lots located within Wild Plum, but fronting along Fairway Lane as Filing 1 / Residential Use Area 1. These lots are located directly across the street from homes in Columbine Valley (Old Town), the architectural standards associated with these homes will reflect those standards and covenants applicable across the street, as outlined below.

20,000 square feet

30 feet to front loaded garage

30 feet to livable space / front porch / side loaded garage

#### ii) Permitted Uses

Detached Single Family Residences 2. Principal and Accessory Uses as permitted in the Residential (R-1) District (Old Town)

#### iii) Lot and Building Standards

- Maximum number of single family detached homes: 11
- Minimum Lot Size:
- Minimum Setbacks: Front:
- Front:
- Side:
- Minimum Distance Between Buildings:
- Rear:
- Rear to open space:
- 30 feet 40 feet 40 feet

15 feet

Maximum Building Height: 25 feet as measured from grade line at the front of the home, limited to a single story, along Fairway Lane. These homes shall be permitted to be walkouts on the back of the home, facing south. 5. All other architectural features, including but not limited to: Exterior Materials/Finishes, Windows, Doors, Color, Roofing, Walls/Fences/Hedges, Landscape Materials and Driveways shall follow the Columbine Valley Old Town Covenants.

#### B. Filing 2 / Residential Use Area 2

i)

Filing 2 / Residential Use Area 2 will encompass the remainder of the Wild Plum property, exclusive of the single family lots fronting on Fairway Lane. The intent of these Standards is to provide a distinctive, recognizable style of high-quality architectural character in residential development that avoids featureless design and repetition of facades. The design of individual residential buildings and groups of buildings shall employ a variety of design features, such as wall and roof massing, textured surfaces, bay windows, the creation of shadow lines, a varied color palette, window patterns, and similar residential architectural devices to avoid the creation of monotonous residential neighborhoods and streetscapes.

#### ii) Permitted Uses

- Detached Single Family Residences
- 2. Accessory structures including:
- 2.1. A private attached garage, a maximum of 800 square feet; 2.2. No more than one (1) mini-structure such as shed, a maximum of 200 square feet and eight (8) feet tall.
- 3. Open space including natural areas, open areas, and landscape areas.
- 4. Pocket parks and other common areas.

#### iii) Lot and Building Standards

- Maximum number of single family detached homes: 84
- Minimum Lot Size: 15,000 square feet
- Minimum Setbacks:

5.	minimum betoucks.	
	Front::	25 feet to front loaded garage
	Side:	15 feet
	Side to Street:	15 feet
	Rear:	25 feet
	Rear to open space:	15 feet
		0.7.0

- 4. Maximum Building Height: 35 feet
- 5. Corner lots must comply with the visioin clearance triangle requirements as specified in the Town of Columbine Valley Zoning Code and Land Use Manual.
- 6. All setbacks shall be measured from the property line to to the foundation wall. However, the following
- encroachments shall be allowed into all setbacks: i) Eaves, roof overhangs, gutters, masonry, fireplaces and chimneys may protrude up to 24 inches into the setback. ii) Window wells, bay windows, building cantilevers and counterforts may protrude 36 inches into the setback. iii) Unenclosed covered patios & decks may protrude up to 8 feet into the rear setback.

#### iv) Off Street Parking

A minimum of four (4) off-street parking spaces shall be provided for each residential unit, at least two (2) of which shall be included within an enclosed garage and two (2) of which shall be in the accompanying driveway with a minimum width of 16' wide. On street parking will also be permitted to accommodate guests and visitors.

#### v) Fencing & Retaining Walls

- 1. Individual lot fencing shall be permitted, but shall be limited to 3-rail open fencing with a maximum height of 48". Fencing opacity shall be at least 50%. Fencing material shall be: wood, masonry, metal, vinyl, or PVC. Wire mesh may be added to open rail fencing for animal containment.
- 2. Fencing permitted along the side and rear property lines. Wing fences shall return to the home at a point a minimum of 3' behind the front facade of the home on the connecting side.
- 3. Fences on corner lots shall comply with vision clearance requirements of the Town of Columbine Valley.
- 4. Barbed wire and electric fences are not allowed.
- 5. Retaining walls over 36 inches shall be certified by a professional engineer as to design and structural stability. 6. Retaining walls shall be minimized and where necessary, should be comprised of layered smaller walls, as opposed to singular, taller walls as appropriate.

#### vi) Landscaping

- On lot landscaping will be required. Front yard landscaping will be installed by the builder and will, at a minimum, include one (1) every every even tree, one (1) canopy or ornamental deciduous tree, and (10) shrubs or ornamental grasses. It will also include appropriate groundcover and mulch so as to not leave any exposed soil areas prone to erosion, including a rock mulch dry zone around all foundations. Rear yard landscaping will be the responsibility of the homeowner.
- Maintenance of on lot landscaping will be the responsibility of the homeowner and will be enforced by the Homeowner's Association per developed covenants, codes and restrictions.

vii) Lighting provided with the Final Development Plan.

#### viii) Design / Architecture

- 3. Architectural Variety and Character:
- a) Architectural Variety elevation

ii) No identical model plan and elevation shall be repeated more than once within every 4 lots on the same side of any street.

iii) At least 2 alternative elevations for each model plan shall be submitted to the Town for review, except for any custom or semi-custom homes that may be included at Wild Plum, such as those within Filing 1 along Fairway Lane which will only include 1 elevation style.

b) Architectural Character

#### i. Design Standards

roof treatment is an essential element of the Architectural Style c) The main roof should extend beyond the primary facade by a minimum of one foot.

- (1) The addition of one window unit. (3) A covered porch or deck.
- corbels, lintels, trellises, columns or pilasters. grids, or other decorative siding treatment.
- (6) Roof window dormers.

e) Columns or posts extending more than 36 inches above the ground which support structural elements such as porches, decks, or roofs should appear to be of adequate mass to support the structure above. (No exposed 4"x4" posts shall be allowed more than 36 inches above the ground). Columns supporting upper story decks should be 8"x8"minimum finished.

#### **IV.** Open Space Areas

#### A. Intent

This section establishes standards for the project open space. It is the intent of this section to provide for natural open space and conservation areas for passive enjoyment, as well as for more actively programmed parks and open spaces. These use areas may be private or public and will be determined at the time of final platting.

- B. Permitted Uses
  - Natural open space;
  - landscaped areas, and visual buffer open space;

  - pools, court activities, parks and playfields;
  - Trails for biking, hiking, walking and riding;

  - Public right-of-way;

  - 8. Ancillary structures and parking; Neighborhood / HOA club facilities;
  - 10. Signage and monumentation;
  - 11. Any other uses which are consistent with the above.

#### C. Design Standards

- A minimum of 20% of the property shall remain in open space.
- the night sky.
- residential uses.
- D. Fencing and Retaining Walls

  - may be added to open rail fencing for animal containment.
  - Barbed wire and electric fences are not allowed.

  - singular, taller walls as appropriate.

#### E. Landscaping

- quality facilities and trails.
- District.

Lighting shall comply with the Town of Columbine Valley Zoning Code and Land Use Manual. A photometric plan will be

Single family detached architecture will be provided for Town review in conjunction with the Final Development

Residential architecture at Wild Plum will ensure quality and compatibility within the community.

i) No identical model plan and elevation shall be repeated directly across any street from the same model plan and

Each single family detached model plan and elevation shall demonstrate the following design attributes:

a) Each elevation shall include a minimum of two windows (or one window and one door) per floor.

b) A variety of roof forms should be used. Single unbroken roof pitches should be avoided, except where a single

d) An elevation of the home that faces a street, park, trail corridor or open space area shall provide an "Enhanced Elevation". An "Enhanced Elevation" shall provide one or more of the following design enhancements listed below. Application of the design enhancement shall be applied in a manner that is consistent with the style of the home.

(2) A change in wall plane such as a cantilevered living space, fireplace/chimney, bay or boxed window.

(4) The addition of architectural detail elements such as: shutters, eave brackets, exposed rafter tails,

(5) The use of a minimum of two exterior cladding materials that can include materials such as masonry (cultured stone, stone, brick, stucco, or tile), lap siding, shingles, board and batten, belly bands and window

(7) Clerestory windows, or windows with transoms above the main window.

Passive public and private recreational uses, including but not limited to: picnic grounds, native, naturalized or

Active public and private recreational uses, including but not limited to: playgrounds, outdoor fitness, swimming 4. Open space including natural areas, open areas, and landscape areas;

Floodplains and drainageways, both natural and man-made, including storm detention facilities;

All lighting shall be of a type such that no offensive glare shall be imposed on adjacent residential uses, and not block

3. Active recreational areas shall be situated so as to minimize adverse noise, lighting and traffic impacts on adjacent

4. Maintenance shall be by either the Town, the metropolitan district, HOA, or similar entity.

Common area fencing shall be permitted, but shall be limited to 3-rail open fencing with a maximum height of 48". Fencing opacity shall be at least 50%. Fencing material shall be: wood, masonry, metal, vinyl, or PVC. Wire mesh

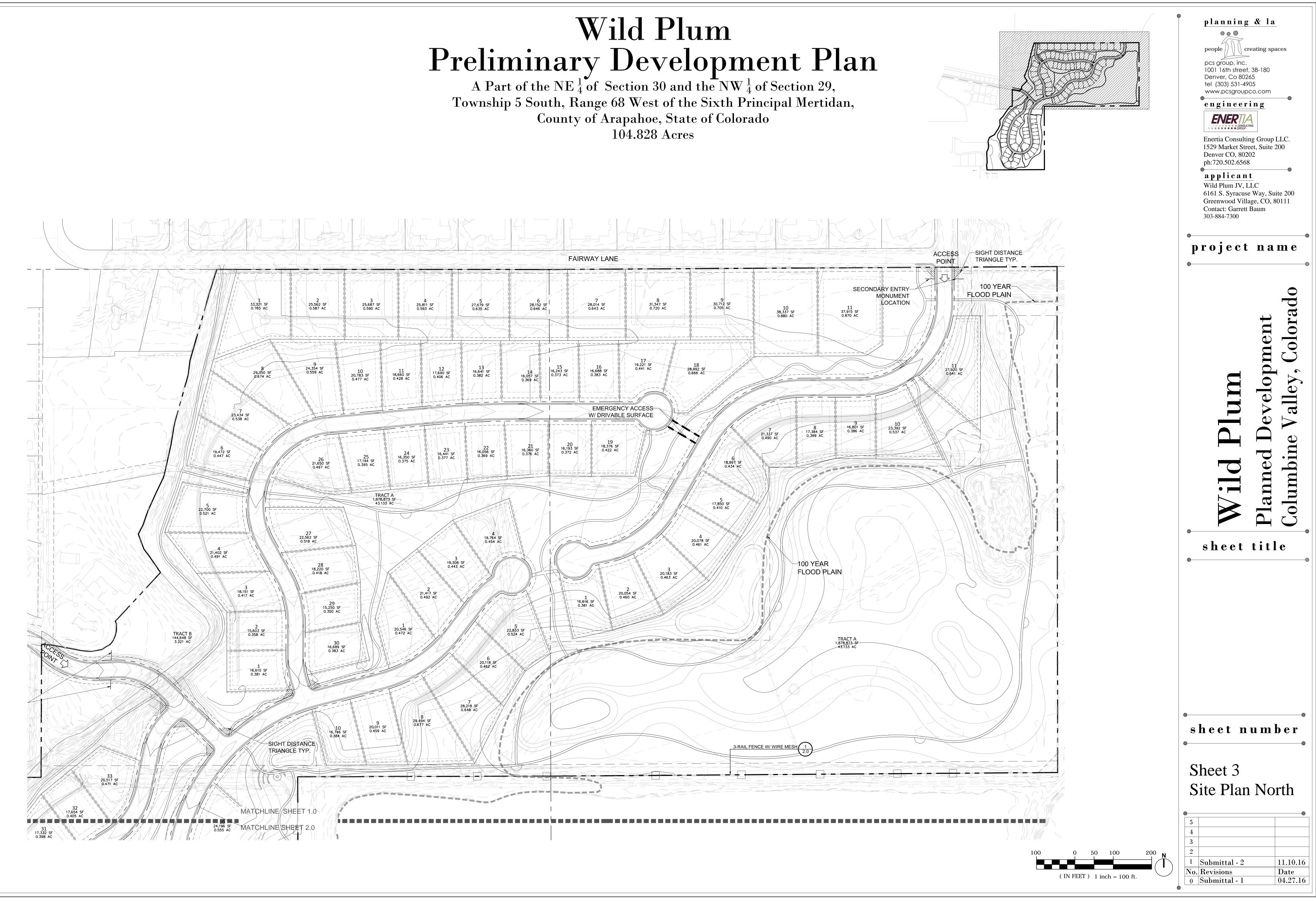
Fences on corner lots shall comply with vision clearance requirements of the Town of Columbine Valley.

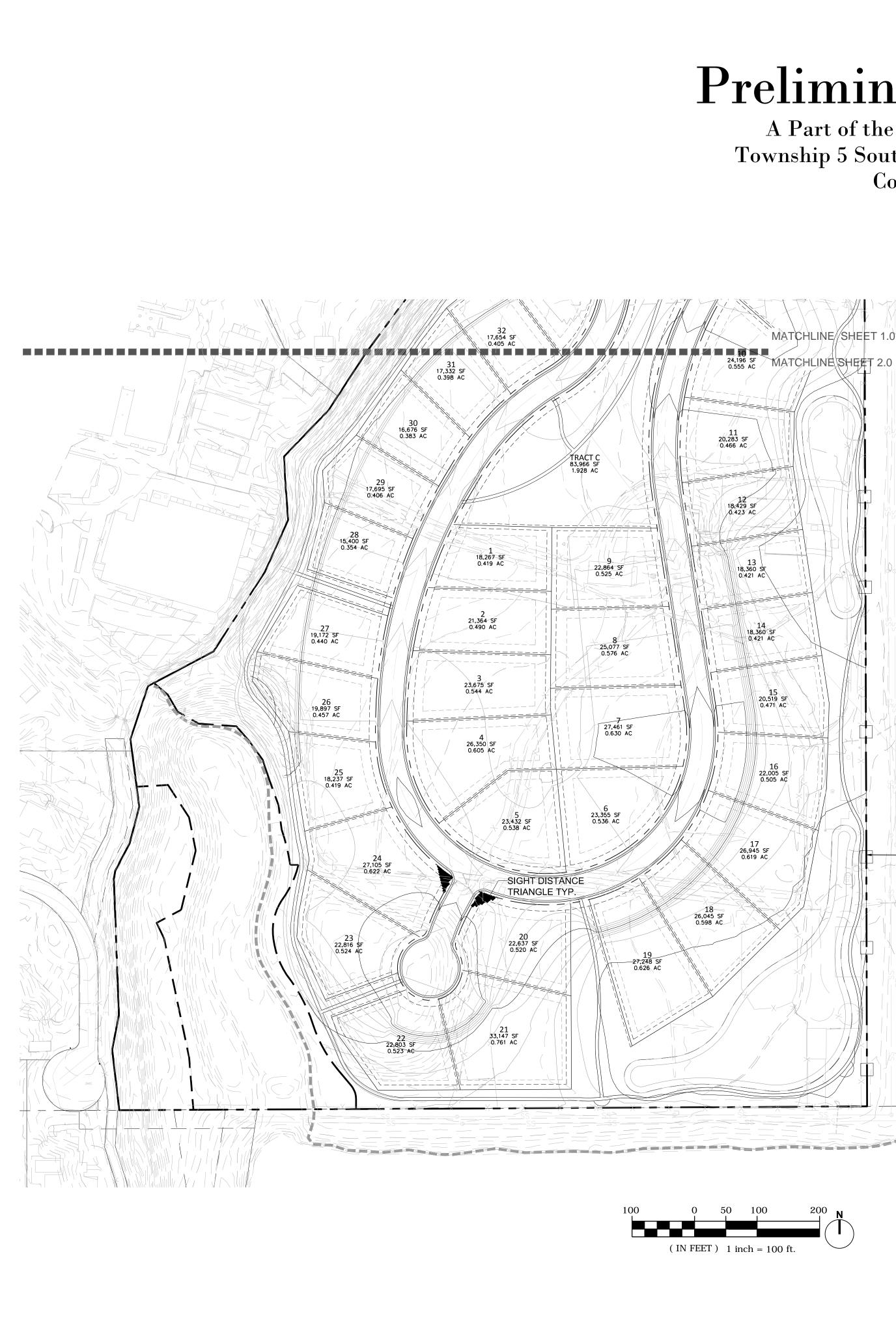
Retaining walls over 36 inches shall be certified by a professional engineer as to design and structural stability. Retaining walls shall be minimized and where necessary, should be comprised of layered smaller walls, as opposed to

Common area and tract landscaping will be provided for Town review via a conceptual landscape plan. 2. Floodplain areas on the property will be maintained as open space in a generally natural condition, although some grading and revegetation may occur to accommodate man-made features such as stormwater detention and water

3. Maintenance of common area landscaping will be the responsibility of the Homeowner's Association or Metropolitan

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1001 16th street Denver, Co 802	.65
tel (303) 531-49 www.pcsgroup	
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ph:720.502.6568	3
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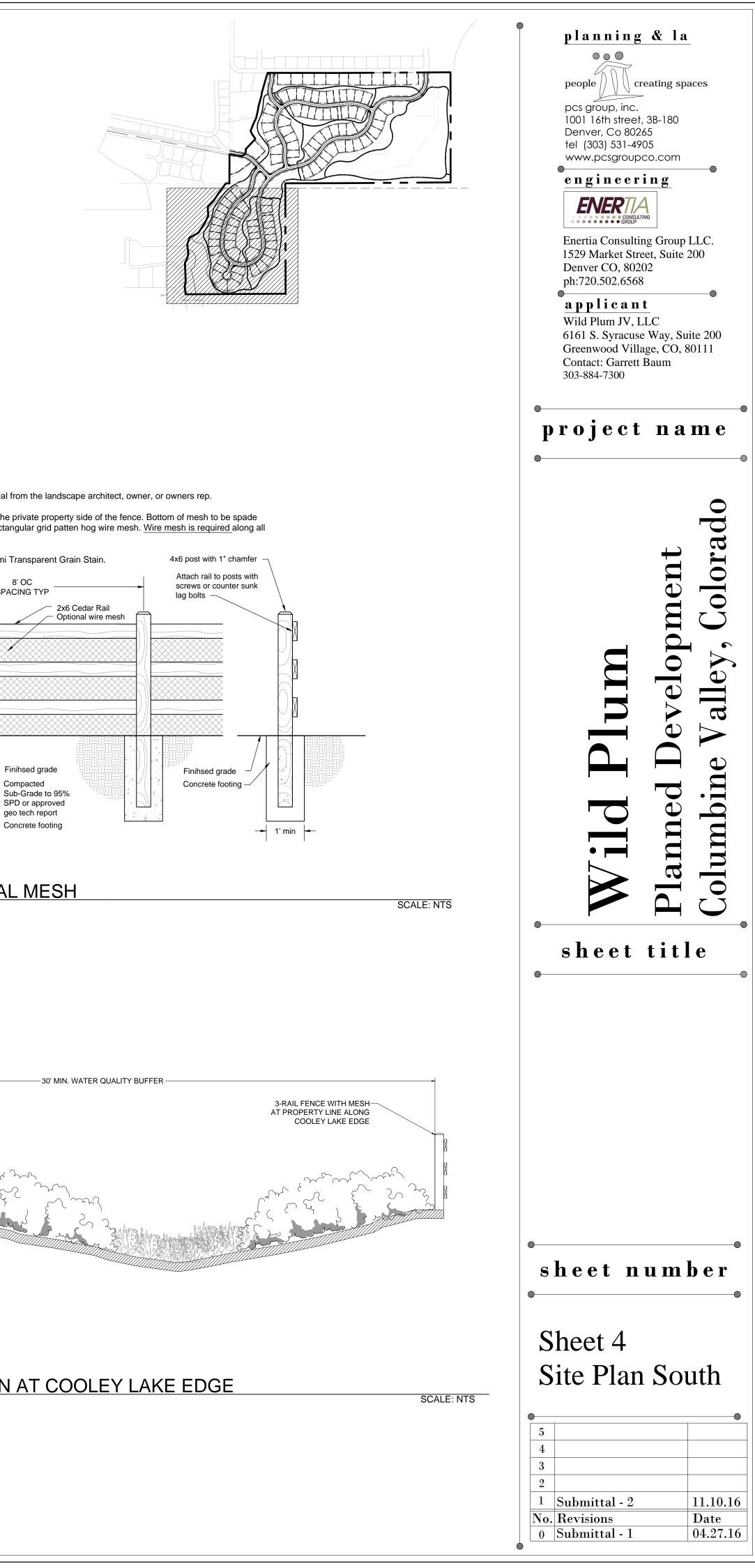


# $\begin{array}{l} \hline Wild \ Plum \\ Preliminary \ Development \ Plan \\ A \ Part of the \ NE \frac{1}{4} \ of \ Section \ 30 \ and \ the \ NW \frac{1}{4} \ of \ Section \ 29, \end{array}$

A Part of the NE  $\frac{1}{4}$  of Section 30 and the NW  $\frac{1}{4}$  of Section 29, Township 5 South, Range 68 West of the Sixth Principal Mertidan, County of Arapahoe, State of Colorado 104.828 Acres

MATCHLINE/SHEET 1.0 1. All wood to be rough sawn cedar, or approved material from the landscape architect, owner, or owners rep. 2. Wood to be weather and rot resistant 3. If optional wire mesh is used, it should be placed on the private property side of the fence. Bottom of mesh to be spade dug 12" below grade to secure bottom edge. Use rectangular grid patten hog wire mesh. Wire mesh is required along all property line adjacent to Cooley Lake 4. Fence to be installed on private property. 5. Fence to be stained with Diamond Vogel Paints - Semi Transparent Grain Stain. 8' OC SPACING TYP 4'-4" 100 YEAR FLOOD PLAIN 2'-6" Compacted <u>3-RAIL FENCE W/ OPTIONAL MESH</u> 3-RAIL FENCE W/ WIRE MESH 1 2.0

2 WATER QUALITY SECTION AT COOLEY LAKE EDGE







## Wild Plum

SCALE: NTS

pcs group, inc. 1001 16th street, Denver, Co 8026 tel (303) 531-490 www.pcsgroupc engineeri Enertia Consultin 1529 Market Stree Denver CO, 8020 ph:720.502.6568 applicant Wild Plum JV, LI 6161 S. Syracuse Greenwood Villa, Contact: Garrett H 303-884-7300	eating spaces 3B-180 5 5 co.com <b>n g</b> g Group LLC. et, Suite 200 2 LC Way, Suite 200 ge, CO, 80111
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