

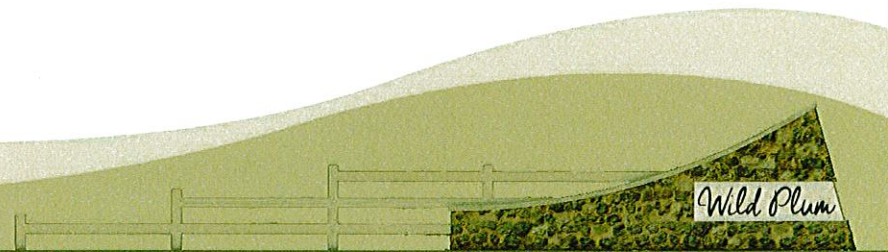
Wild Plum – Preliminary Development Plan

Town of Columbine Valley

Planning & Zoning Commission Public Hearing Continuance
August 23, 2016



Prepared By: JPB Holdings & CalAtlantic Homes





Project Background

- Annexed to the Town in 1973
- Proposed development is consistent with the Current Town Master Plan & that Annexation Agreement
- Developer is a joint venture between JPB Holdings and CalAtlantic Homes

Entitlement Process

- Strictly following the Town of Columbine Valley's application process
- Multiple meetings with Town staff
- Two (2) Day Open House was held with many resident's in attendance
- Numerous meetings have been held with: Individual HOA's, board members and individuals
- The is the first of 4 public hearings with P&Z and the Town Board of Trustees.





As originally submitted, Wild Plum dispersed the 105 units in this configuration with 3 proposed access points.

- All proposed plan options contain 105 Units = 1 DU/AC
- Wild Plum will have the 2nd Lowest Density in the Town of Columbine Valley at 1 DU/AC

Original Plan Submittal



Wild Plum - Revision 4 Developer Preferred Plan



This Revised Plan Provides:

- Half Acre Average Lot Sizes (up from +/- 13,000 sf on original submittal)
- Increased Side Setbacks up to 15' (from 7.5' on original submittal)
- 30' of Building Separation (up from 15' on original submittal)
- Two different and isolated access points, one on Fairway Lane and one on Hunter Run Lane.
- 41% Open Space

Wild Plum

**Wild Plum - Revision 4
Developer Preferred Plan**

Limited North Access
Point = 35 Homes /
33% of Community

DEVELOPER TO PROVIDE FUNDS FOR
TRAFFIC SIGNAL AT HUNTER RUN LN. &
E. PLATTE CANYON RD. IF CDOT WILL
ALLOW A SIGNAL.

West Access Point =
70 Homes /
67% of Community



Wild Plum

Wild Plum - Revision 5 Option for Planning & Zoning Consideration



This Revised Plan Provides:

- 17,000 sf Average Lot Sizes (up from +/- 13,000 sf on original submittal)
- Increased Side Setbacks up to 15' (from 7.5' on original submittal)
- 30' of Building Separation (up from 15' on original submittal)
- Two different and isolated access points, one on Fairway Lane and one on Hunter Run Lane.
- 52.4 % Open Space

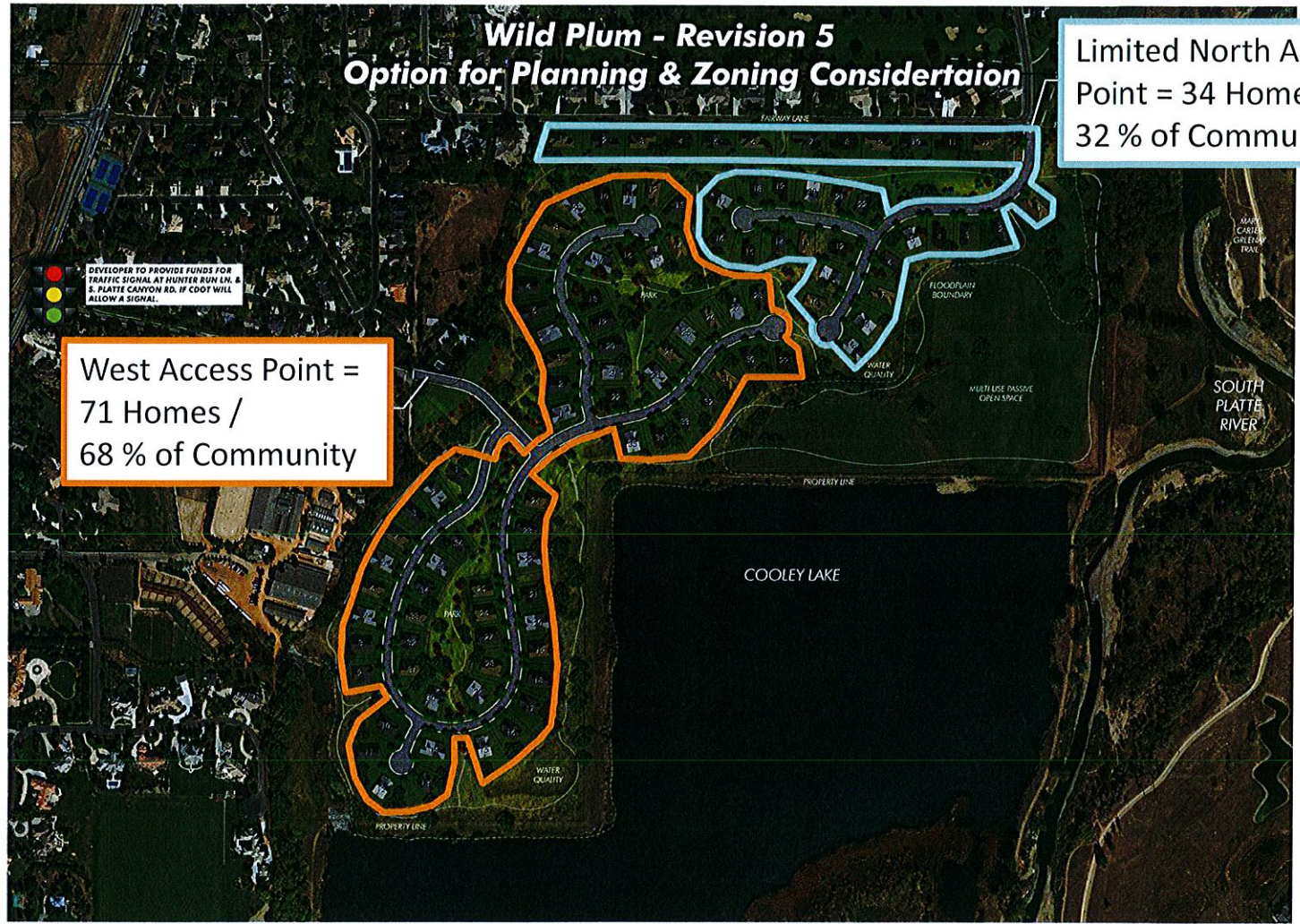
Wild Plum

Wild Plum - Revision 5 Option for Planning & Zoning Consideration

Limited North Access Point = 34 Homes / 32 % of Community

DEVELOPER TO PROVIDE FUNDS FOR TRAFFIC SIGNAL AT HUNTER RUN LN. & S. PLATTE CANYON RD. IF CDOT WILL ALLOW A SIGNAL.

West Access Point = 71 Homes / 68 % of Community



Wild Plum

Project Density as Defined in the Town of Columbine Valley Zoning Code & Land Use Manual

Article XIII – Definitions of the Town of Columbine Valley
Zoning Code and Land Use Manual:

**Density, Residential. The number of dwelling units per unit of
land.**

**In these regulations, density is normally expressed as the
number of dwelling units per GROSS acre.**



Table 5
Density Classifications for Parcels with Development Potential

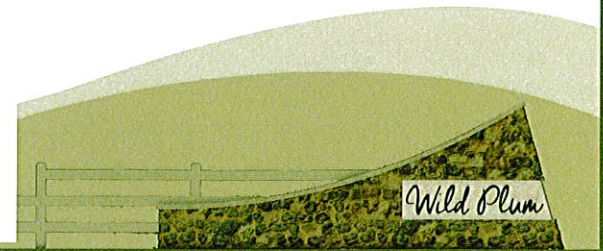
| Parcels | Total Acreage | Developable Acreage | Density Classifications |
|----------------|---------------|------------------------|-------------------------|
| Western Area: | | | |
| Jurgelonis | 2.50 | 2.50 | Low to High |
| Letbetter | 1.05 | 1.05 | Low to High |
| Nelson | 4.33 | 4.33 | Low to High |
| Subtotal | 7.88 | 7.88 | |
| Northern Area: | | | |
| Grimm | 4.54 | 4.54 | Low to Medium |
| Wolf | 9.24 | 6.64 | Low to Medium |
| Subtotal | 13.78 | 11.18 | |
| Eastern Area: | | | |
| Swenson | 2.72 | 2.72 | Low to Medium |
| Berg/Carson | 3.50 | 3.50 | Low to Medium |
| Ausfahl | 7.04 | 7.04 | Low to Medium |
| Lilienthal | 6.57 | 6.57 | Low to Medium |
| Subtotal | 19.83 | 19.83 | |
| Southern Area: | | | |
| Wild Plum Farm | 105.21 | 70.21 79.32 | *Low |
| Dixon | 2.74 | 2.74 | Low |
| Guetz | 2.5 | 2.5 | Low |
| DeLong | 3.34 | 3.34 | Low |
| Madcap | 14.39 | 10.39 | Low |
| Subtotal | 128.18 | 89.18 | |
| Total | 169.67 | 128.07 | |

Updated to Match Current Floodplain Map.
*** Subject to Future Floodplain Adjustments in Process**

Density Classes: Low-less than 1.00 units per acre, Medium-1.00 to 2.4 units per acre, High-greater than 2.4 units per acre. Source: Town Planner

If engineering modifications were made and governmental approvals were obtained, some acres now in flood plains could become developable.

Note: A density bonus in excess of the applicable density classification in Table 5 may be granted to a superior development that helps the Town achieve or exceed the stated goals of its comprehensive plan.



Wild Plum will be one of only two “Low Density” neighborhoods and will have the 2nd Lowest Density in the Town of Columbine Valley at 1 DU/AC, compliant with the Town Zoning Code.

| Neighborhood Densities | | | |
|------------------------|-----------------|------------------------|----------------|
| Subdivision Name | Density (DU/AC) | Density Classification | Number of Lots |
| Country Club Estates | 0.73 | Low | 6 |
| Wild Plum | 1.00 | Low | 105 |
| Brookhaven 1 | 1.06 | Medium | 29 |
| Polo Meadows | 1.26 | Medium | 18 |
| Old Town | 1.67 | Medium | 187 |
| The Village | 2.34 | Medium | 60 |
| Burning Tree | 2.40 | Medium | 122 |
| Willowcroft | 2.89 | High | 41 |
| Country Club Villas | 3.22 | High | 8 |
| Wilder Lane | 3.63 | High | 24 |
| Villa Avignon | 4.04 | High | 45 |
| The Villas | 4.45 | High | 44 |



The Wild Plum Developer Preferred Plan (Revision 4) Provides
Half Acre Average Lot Size = 4th Largest Average Lot Size in Town.

| Average Lot Size Chart | | |
|------------------------|--------------------------|-----------------|
| Subdivision Name | Average Lot Size (sq ft) | Density (DU/AC) |
| Country Club Estates | 42,450 sf | 0.73 |
| Brookhaven 1 | 22,829 sf | 1.06 |
| Polo Meadows | 22,500 sf | 1.26 |
| Wild Plum | 21,780 sf | 1.00 |
| Old Town | 20,800 sf | 1.67 |
| Burning Tree | 14,521 sf | 2.40 |
| The Village | 14,222 sf | 2.34 |
| Country Club Villas | 8,921 sf | 3.22 |
| Villa Avignon | 7,200 sf | 4.04 |
| Wilder Lane | 7,000 sf | 3.63 |
| Willowcroft | 7,000 sf | 2.89 |
| The Villas | N/A | 4.45 |

Wild Plum

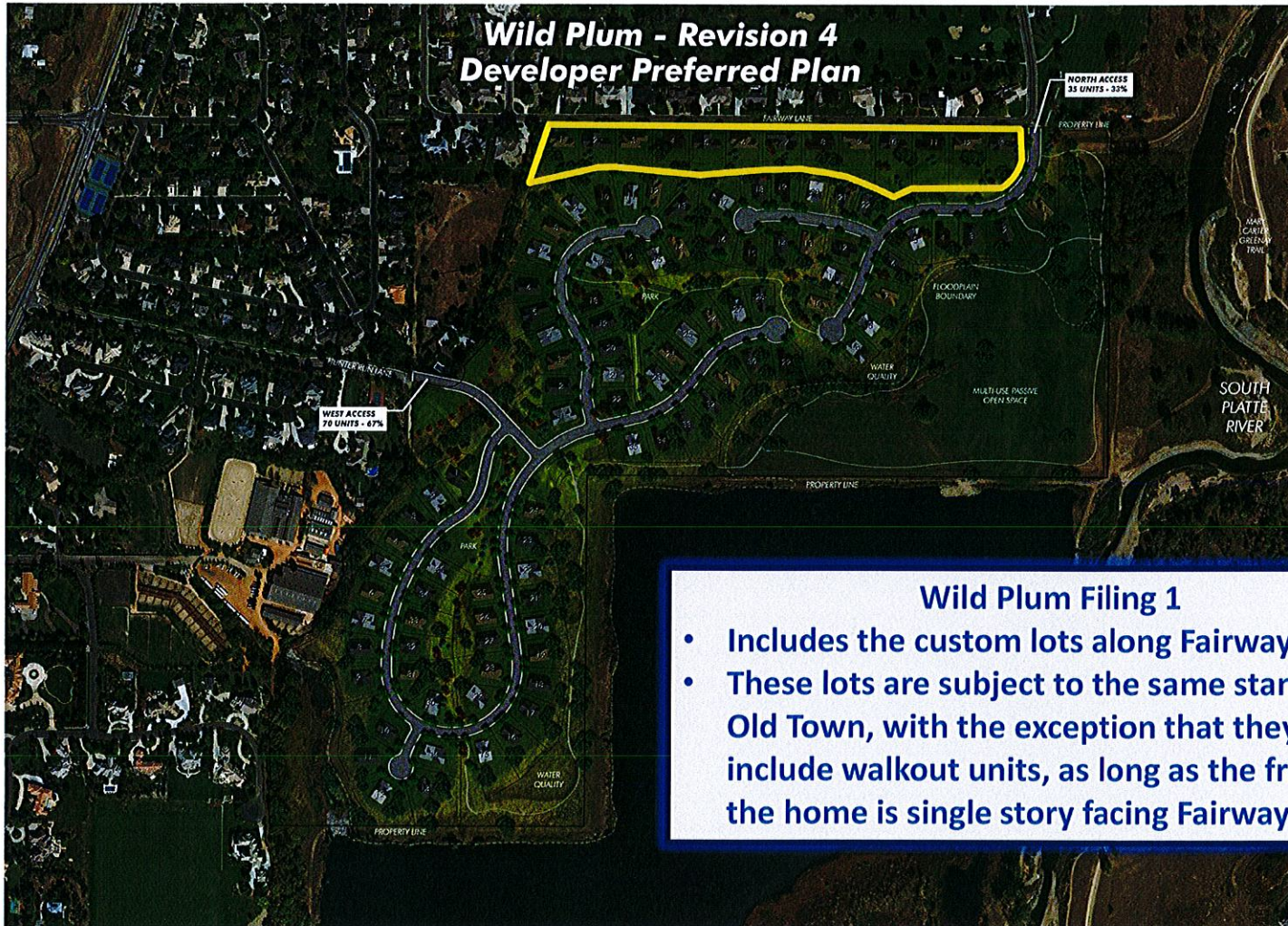
Wild Plum will be providing substantially more open space than the other neighborhoods surrounding it.

(Master Plan Requirement is 20% Open Space)

| Neighborhood Open Space | | | | |
|-------------------------|-----------------|------------------------|--------------|--------------|
| Subdivision Name | Density (DU/AC) | Density Classification | Open Space % | Notes |
| Wild Plum | 1.00 | Low | 41% | |
| Burning Tree | 2.40 | Medium | 17% | |
| Polo Meadows | 1.26 | Medium | 10% | Estimated |
| The Village | 2.34 | Medium | 7% | |
| Old Town | 1.67 | Medium | 0% | Virtually 0% |



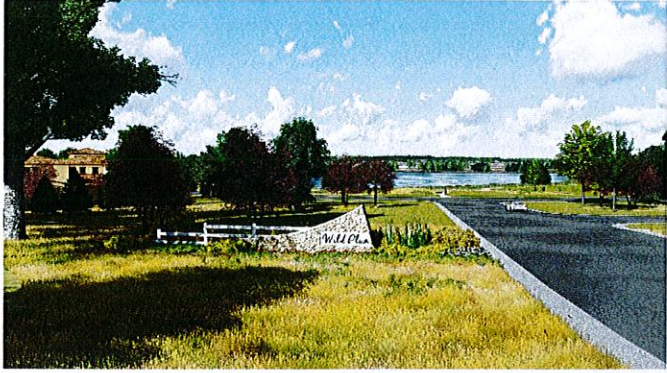
Wild Plum - Revision 4 Developer Preferred Plan



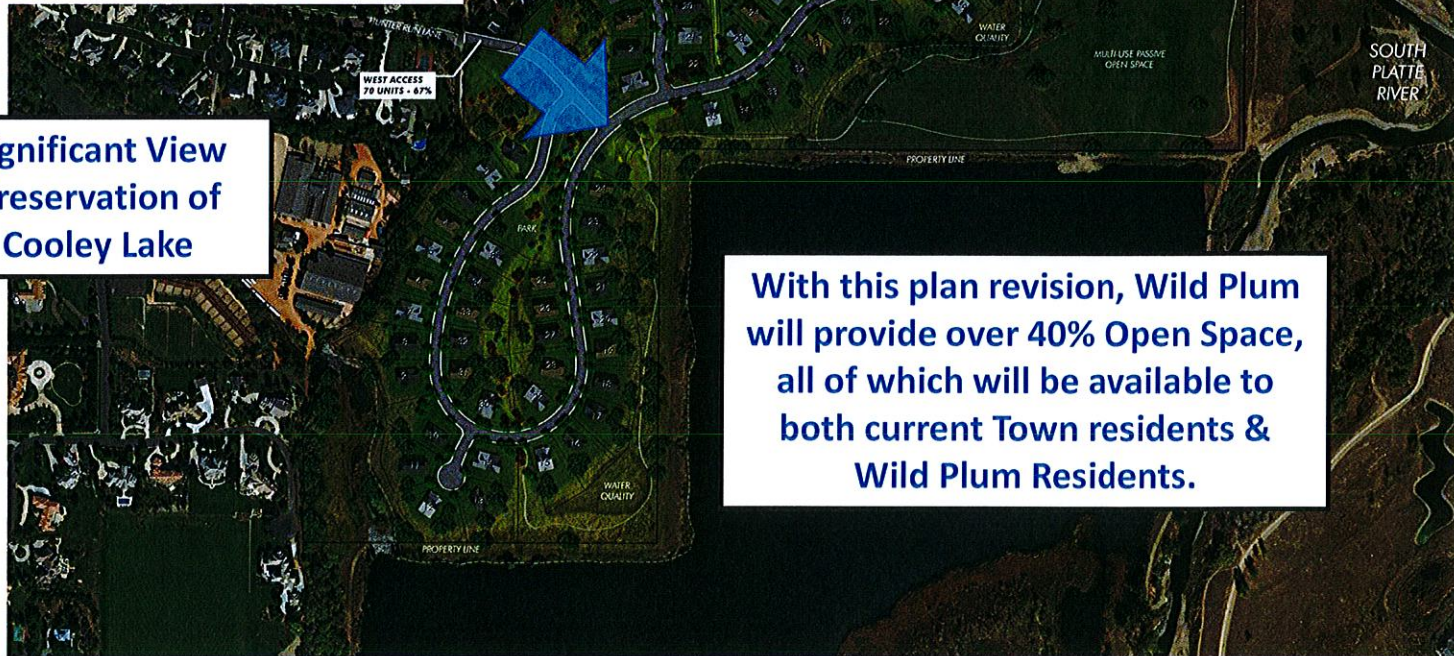
Wild Plum Filing 1

- Includes the custom lots along Fairway Lane
- These lots are subject to the same standards as Old Town, with the exception that they can include walkout units, as long as the front of the home is single story facing Fairway Lane.

Wild Plum



Wild Plum - Revision 4 Developer Preferred Plan



**Significant View
Preservation of
Cooley Lake**

**With this plan revision, Wild Plum
will provide over 40% Open Space,
all of which will be available to
both current Town residents &
Wild Plum Residents.**

Wild Plum

Wild Plum - Revision 4 Developer Preferred Plan



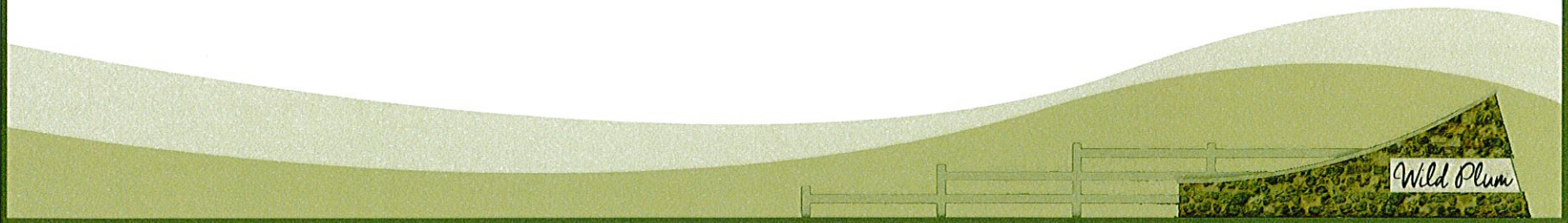
Approximately 1.9 Miles
Of Trails Are Proposed &
Will be Open to the All
Town Residents, Adding
Connectivity and
Recreation Opportunities
to the Town



Wild Plum

Compliance with the Town of Columbine Valley Master Plan Vision

- To preserve undeveloped open space, such as the South Platte River floodplain, in order to maintain a low-density community that provides contrast to the higher-density development nearby.
- To develop, through future development approvals and acquisitions if necessary, a cart path and pedestrian trail connecting the Town's neighborhoods to enhance a sense of community and identification within the Town.
- To require future development to provide open space and parks.
- To require future development within the Town to be single-family, detached residential neighborhoods of low to high densities. An exception is the 4.33 parcel in the northwest portion of the Town adjacent to existing development in Littleton which could develop with residential, office, and/or commercial uses.



Compliance with the Town of Columbine Valley Master Plan Vision (con't)



To require new developments to have a system of streets that will internally connect that development with the existing community and protect the existing level of service on existing streets.



To encourage housing opportunities for the changing needs of the Town's residents.



To encourage environmentally sensitive activities, such as reducing vehicle travel; soil and water conservation; protecting water quality; and building homes that conserve resources.



To encourage community and landowner participation and collaboration in planning decisions to allow for development decisions to occur in a predictable, fair, and inclusive manner.



Compliance with the Town of Columbine Valley's Land-Use Goals:

- Maintain the low-density residential focus of the community.
- Ensure that all future residential development is compatible with adjacent existing residential development.
- Ensure that any new streets are built as wide, two-lane roads with generous room for pedestrians, bicycles, and golf carts in keeping with existing streets.
- Encourage the use of the planned development process, where appropriate, to (a) achieve a more efficient use of infrastructure, improvements, and services where community facilities and services are adequate and (b) promote pedestrian and community accessibility.
- Encourage the protection of important wildlife habitat and significant natural landforms.
- Ensure that new development enhances or has no adverse effects upon the Town's property tax base and financial viability.
- Improve the connectivity between and among the Town's neighborhoods through hike and bike trails, golf cart paths, and wide, improved shoulders along the Town's roadways.



Compliance with the Town of Columbine Valley's Transportation Goals:

- Maintain low levels of traffic on internal streets.
- Ensure continuity between neighborhoods when planning streets, cart paths, and walking/bicycle trails.
- Improve the existing routes of ingress and egress of the Town onto Platte Canyon Road and West Bowles Avenue.
- Ensure that any new streets are built as wide, two-lane roads with generous room for pedestrians, bicycles, and golf carts, in keeping with existing streets.
- Use creative land-planning approaches that enhance connectivity to open spaces and trails that minimize conflicts between pedestrians and vehicles.
- Reduce traffic congestion and improve air quality by encouraging development practices that make it easy and inviting to walk, ride bicycles, and drive golf carts within the Town.
- Promote street design standards that reduce traffic speeds and enhance safety standards.



Wild Plum

Compliance with the Town of Columbine Valley's Open Space Goals

- Preserve undeveloped open space, such as the South Platte River Floodplain, the Nevada Ditch, and existing FEMA drainage ways within the Town.
- Develop through future development approvals and acquisitions, a paved trail for golf carts, pedestrians, and bicycles to connect neighborhoods within the Town.
- Require future development to provide private open space and parks.
- Provide open space to encourage the protection of water quality and preservation of natural attributes such as floodplain and wetland areas, geological hazards, vegetative stands, and wildlife habitats.
- Encourage open space preservation where it provides aesthetic enhancement to the community and where it provides buffers between neighborhoods.
- Retain open space that contributes to the pattern, quality, success, and value of a development and provides important visual and recreational amenities.
- Beautify gateways and entranceways to each neighborhood.



Compliance with the Town of Columbine Valley's Drainage Goals



Require future development to provide adequate drainage facilities to protect proposed and existing development from flooding.



Preserve the 100-year South Platte River Floodplain and floodplains along drainage ways within the Town through easements and dedications.



Anticipated Home Values at Closing

Homes From:
\$1,500,000 - \$2,000,000 +

Wild Plum - Revision 4
Developer Preferred Plan

Homes From:
\$1,000,000 - \$1,200,000 +

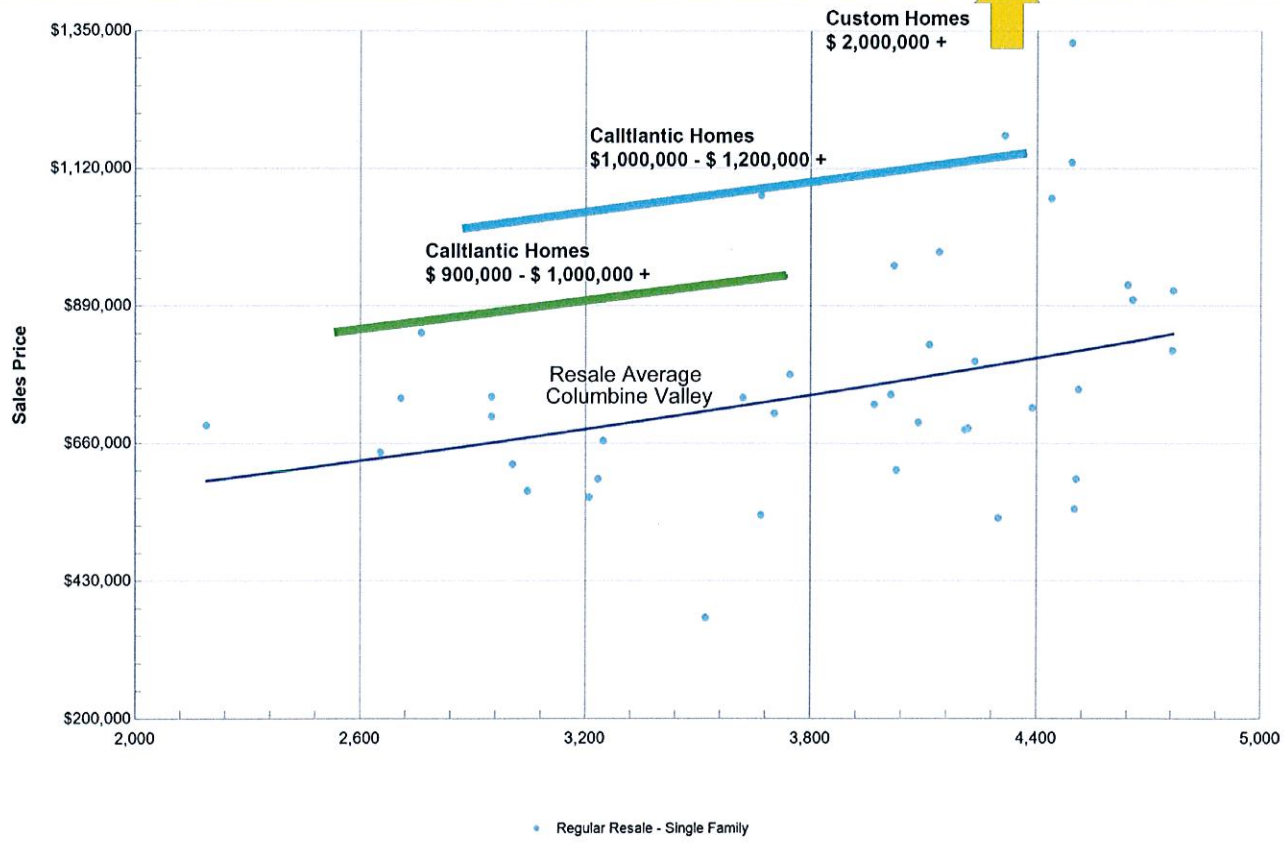
Homes From:
\$900,000 - \$1,000,000 +



Wild Plum

Sales Price vs. Square Footage (XY Scatter)

Columbine Valley Resales
Date Range: 4/1/2014 - 5/20/2016



Denver-Aurora-Lakewood, CO (2Q16)
Copyright Metrostudy

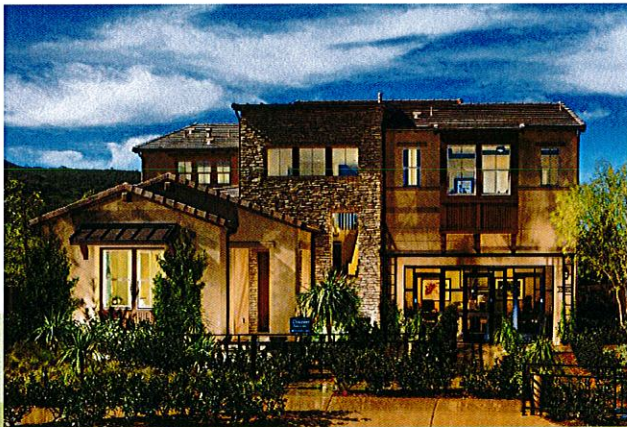
metrostudy
Sales: 1-800-227-8839
A Benchmark Company

Wild Plum

Wild Plum Architectural Product Development

Started with a Review of Existing Town Architecture with the Following Goals:

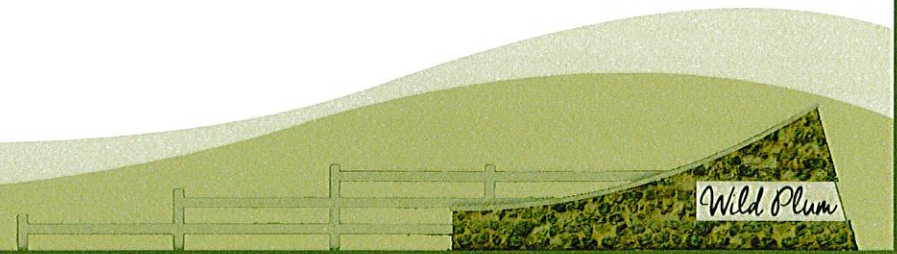
- Categorize styles for detailed review;
- Identify timeless design features inherent in the neighborhood;
- Add these features and styles into our own architecture;
- Insure consistency in and compatibility with the existing homes, by incorporating the features identified;
- Enhance the architecture where opportunities present themselves.



Wild Plum

Architectural Categories Identified

- **Euro** Influence Including:
 - Mountain Rustic
 - Tudor
 - French Country
 - English Cottage
 - French Rustic
 - Italiante
 - Mediterranean
- **Traditional** Craftsman
- **Contemporary** Modern
- **Traditional** Mountain Rustic
- **Colonial**



EURO MOUNTAIN RUSTIC



July 22, 2016 © kga studio architects, pc

950 spruce street, louisville, colorado 80027

www.kgarch.com

Wild Plum



Wild Plum

EURO FRENCH COUNTRY



EURO FRENCH RUSTIC



EURO TUDOR



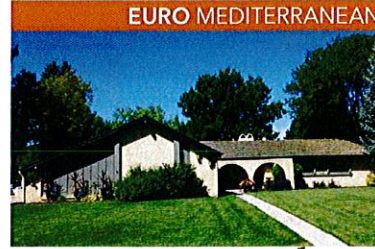
EURO ENGLISH COTTAGE



EURO ITALIANATE



EURO MEDITERRANEAN



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Wild Plum

CALATLANTIC HOMES

kga a collaborative architectural studio

Wild Plum

TRADITIONAL CRAFTSMAN



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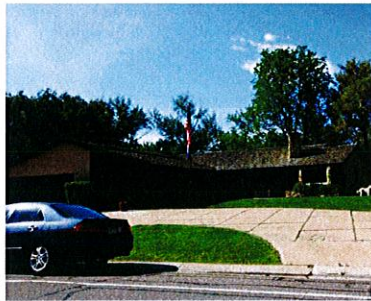


Wild Plum

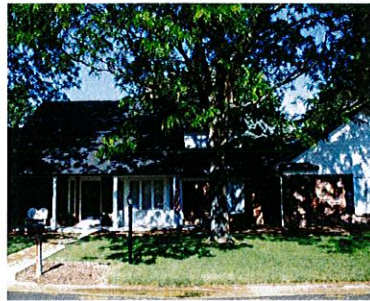
CONTEMPORARY MODERN



TRADITIONAL MOUNTAIN RUSTIC



TRADITIONAL COLONIAL



TRADITIONAL COLONIAL



TRADITIONAL ARTS & CRAFTS



CONTEMPORARY
MID-CENTURY MODERN



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Wild Plum

Results of Product Development Approach

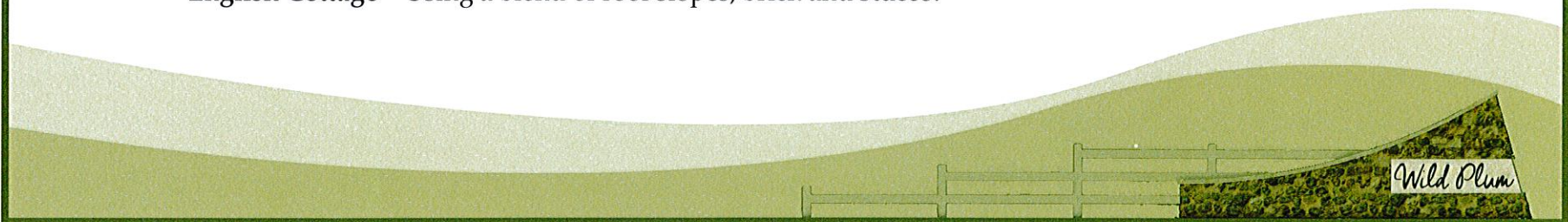
- Creative design focused on multiple styles with corresponding authenticity of details and materials;
- Selections were identified as comparable to the styles in the surrounding community;
- Identified 6 distinct styles to focus on, then chose the right 3 styles to match with the 14 floor plans being offered;
- Diversification was accomplished with 42 different variations in the community - and that does not factor in color palettes and variety in stone and brick choices.
- When assembled in a streetscape we will see diversity of style and massing rhythm;
- Diversity is accentuated by varying roof pitches, materials, and roof forms that relate to the varying styles, and a variety of rich color palettes will be available
- Windows selected to reinforce of authentic styles, with appropriate shapes and sizes being used;
- Identified the appropriate architectural elements by elevation type - for example: courtyards, porch gates, exterior lighting, color palettes, shutters, columns, porch rails, bays and turret forms, and covered exterior outdoor living spaces;



Applied Results of Product Development Approach

The homes in development include 4 predominant styles that are based on “The Columbine Valley” Palette and 2 New and Compatible Styles inspired by the community:

- **Nantucket** - Considering Wild Plum’s water relationship, this is a natural fit. Using a variety of window shapes, stone, shingles, profiled siding and trim. Hip roofs with a mix of gables complete this style. This style builds nicely upon the surrounding community’s traditional styled homes.
- **Euro Cottage** - Related strongly with many homes in the surrounding community. Stone and stucco are detailed with rough sawn trim, and board and batten siding. Quaint and scaled.
- **French Rustic** - With its bluish shutters this elevation also relates well to many of the homes in the surrounding community. Stucco and stone are accentuated with rough sawn details and arched top window shapes.
- **Columbine Ranch Styles** - One style found among the surrounding homes makes use of stucco elements within fields of brick. Quoins are used to add to the detailing. Another style uses wide roof overhangs and adds siding details, shutters, and has a rusticness to its essence.
- **Contemporary Mountain**- Using stucco ledge stone, low profiled hip roofs and timber detailing.
- **English Cottage** - Using a blend of roof slopes, brick and stucco.



- **Nantucket** – Considering Wild Plum’s water relationship, this is a natural fit. Using a variety of window shapes, stone, shingles, profiled siding and trim. Hip roofs with a mix of gables complete this style. This style builds nicely upon the surrounding community’s traditional styled homes.



Wild Plum

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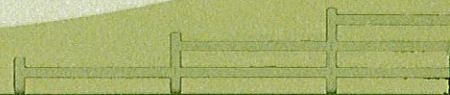
Wild Plum

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Wild Plum

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Wild Plum

- **Contemporary Mountain-** Using stucco ledge stone, low profiled hip roofs and timber detailing.



- English Cottage – Using a blend of roof slopes, brick and stucco.

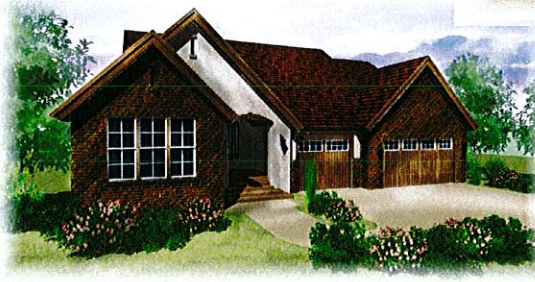


Wild Plum



Architectural Diversity With:

- Individual Custom Homes along Fairway Lane
- The Balance of the Homes with Substantial Diversity - 42 Different Homes on remaining lots - Comprised of 14 different Floor Plans with 3 Distinct Elevations Each
- Additional Diversity will be inherent through Color, Brick and Stone choices

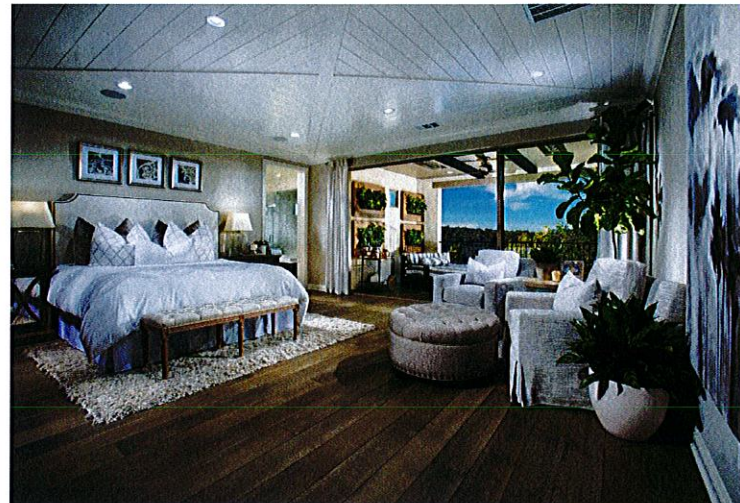
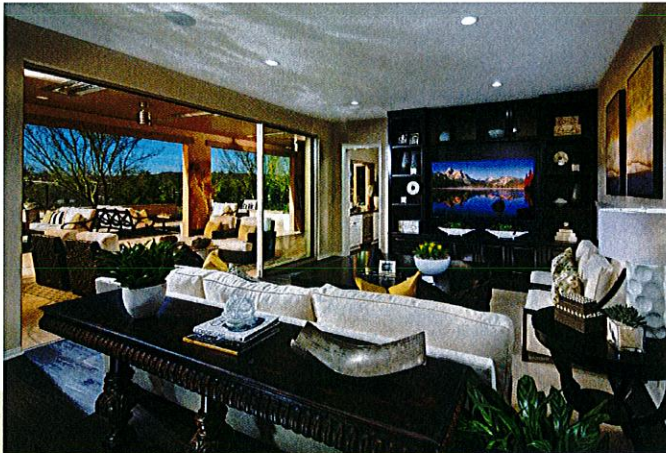


Wild Plum

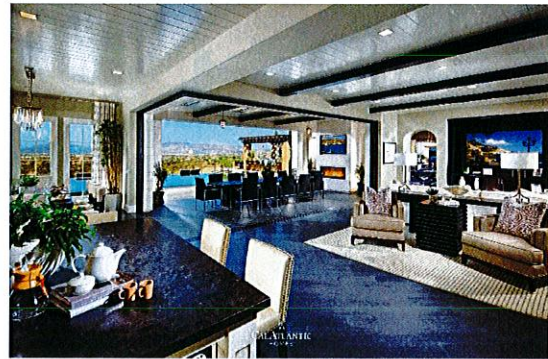
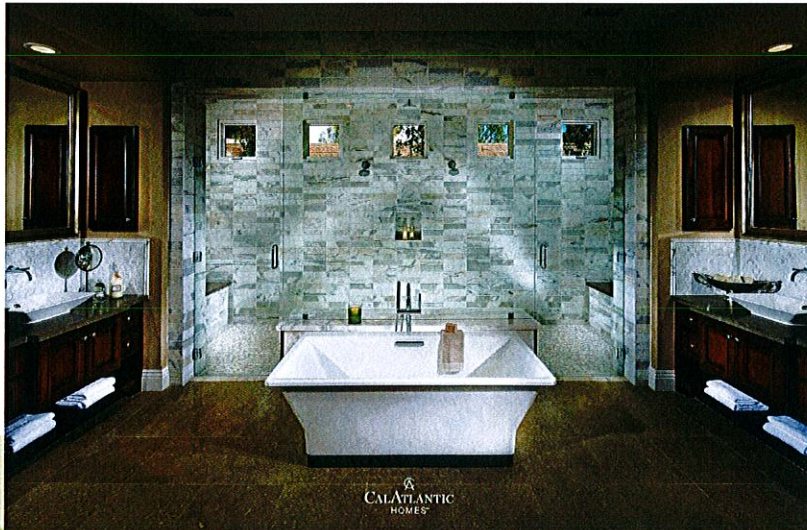
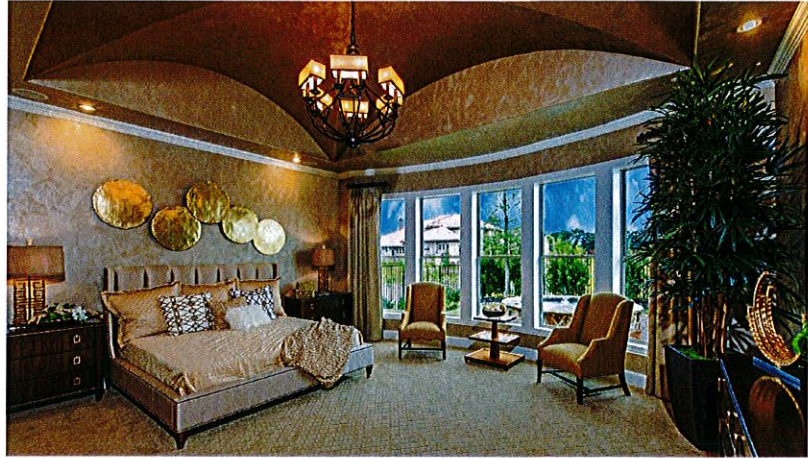
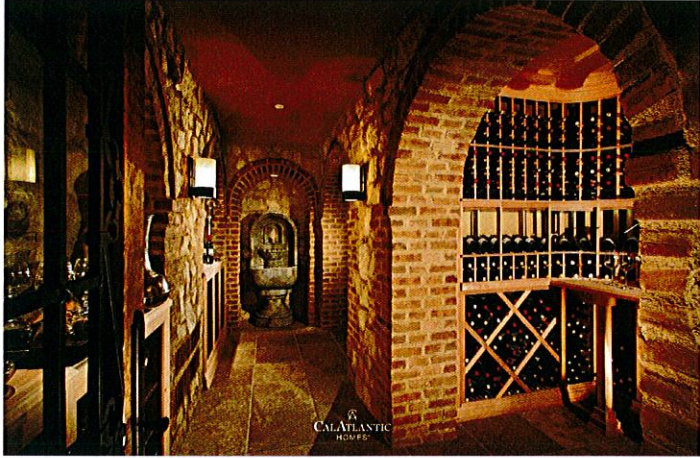


Architectural Quality

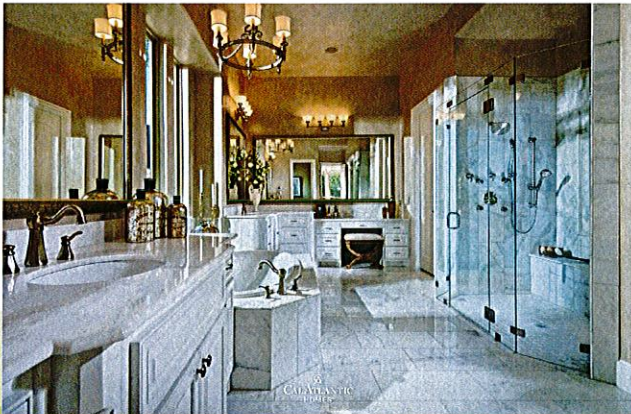
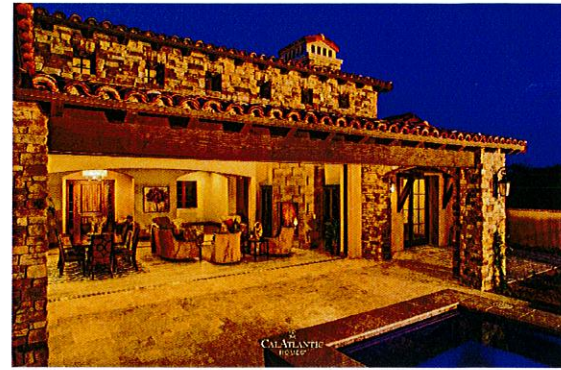
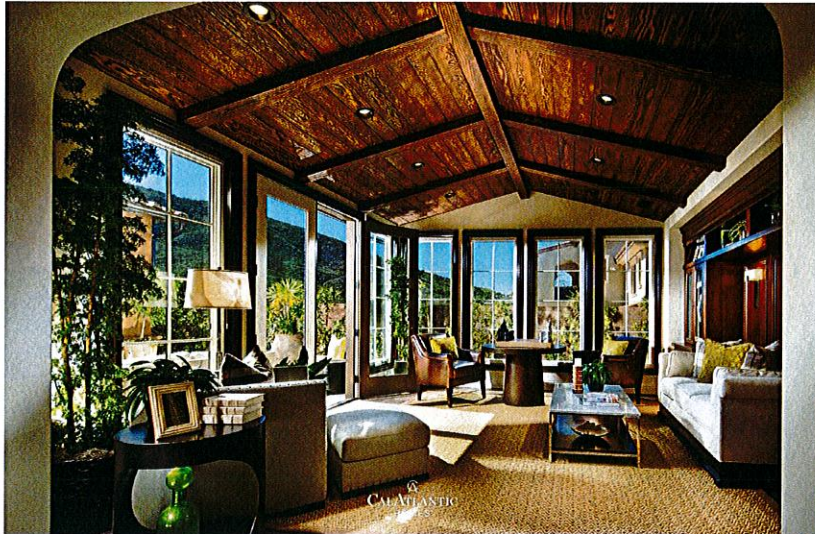
- 2016 Builder of the Year Award
- National & Local Award winning Architects & Interior Designers
- Modern Design, Technology & Construction Techniques
- Energy Efficient / Energy Star 3.0 included on all homes
- Typically 40% - 50% more efficient than other new construction built to existing code.



Wild Plum

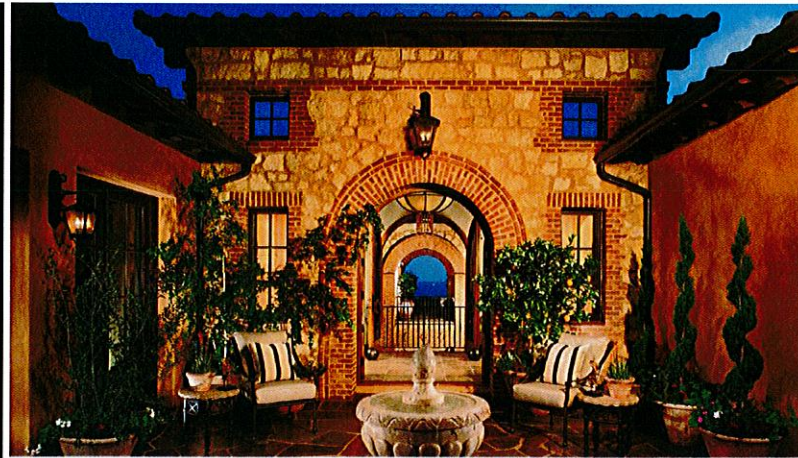
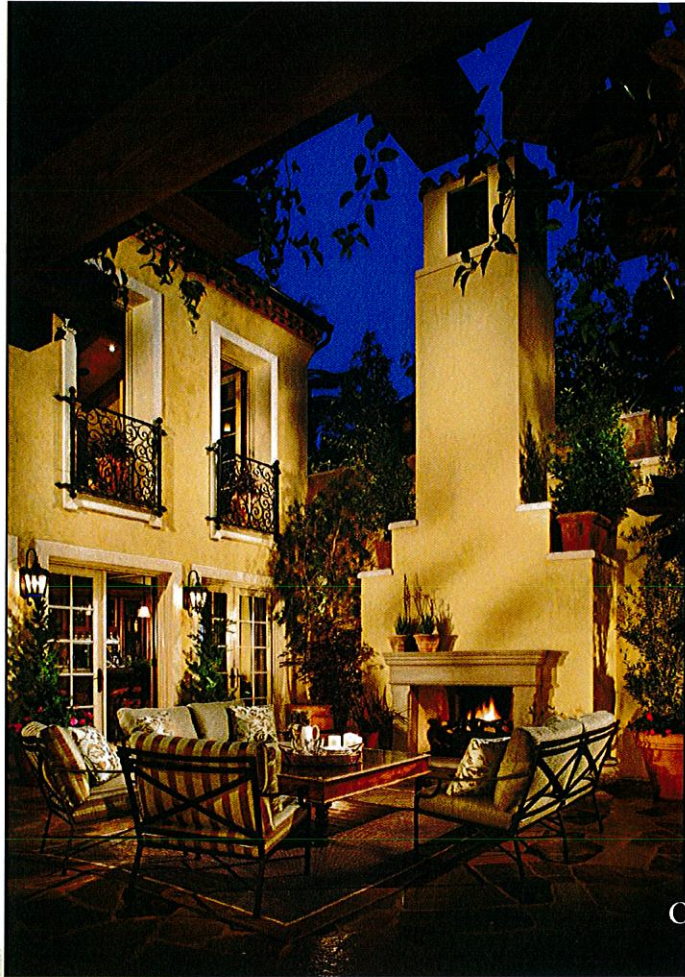


Wild Plum





Wild Plum




CALATLANTIC
HOMES™

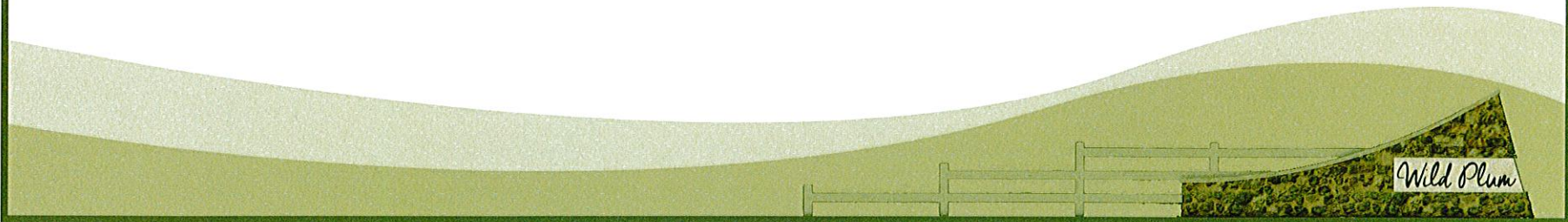


Wild Plum

Metropolitan District Provision

As part of this project, the applicant will formally request the formation of a Metropolitan District from the Town Board which will:

- Require a separate process based on State Statutes, and a separate review from this application.
- Have no financial impact on existing Town residents.
- Provide benefits to the Town of Columbine Valley which include:
 - Improvements to Hunter Run Lane & Platte Canyon to increase safety and improve traffic flows.
 - Potential traffic light addition at Hunter Run Lane and Platte Canyon if approved by CDOT.
 - Mill Levy dedication to the Town which provides revenue for future improvements or maintenance in existing neighborhoods.
 - Fairway Lane Bridge Improvements with the Addition of a separated walk.
 - 3 Raised Cart Path Crossings to increase safety by slowing vehicular traffic.



Potential Bridge Crossing Improvements



**LOCATION 1 - BRIDGE CROSSING NEAR CLUBHOUSE
ALSO TO INCLUDE CART PATH CROSSING ON NORTH SIDE OF BRIDGE**



EXISTING CONDITION

Potential Cart Path Crossing / Traffic Calming Improvements



LOCATION 3 - CART PATH CROSSING ALONG FAIRWAY LANE



EXISTING CONDITION

Wild Plum

Potential Cart Path Crossing / Bridge Improvements



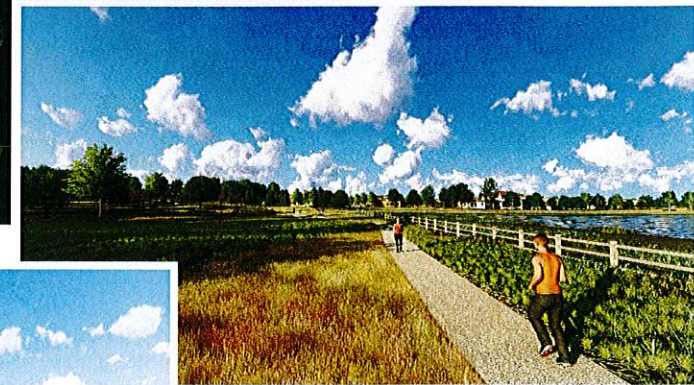
LOCATION 1 - PROPOSED IMPROVEMENT



LOCATION 2 & 3 - PROPOSED IMPROVEMENT

Highlights of Revised Wild Plum Plan

- Low Density at 1 DU/AC and 105 Units with an average lot size of half an acre.
- Complete Compliance with the Town's Master Plan.
- Anticipated Home Values Averaging Over \$1,000,000 and up to \$2,000,000 plus.
- Trail connectivity through the community while adding approximately 1.9 Miles of Trails
- An abundance of accessible parks & open space in the community at 41%
- Significant View Preservation providing Visual Access to Cooley Lake in perpetuity
- Revenue from fees & permits of over \$3.5 Million to the Town
- On going stream of revenue to the Town from a metro district mill levy assessed only on Wild Plum residents.



Wild Plum

Wild Plum - Preliminary Development Plan

Town of Columbine Valley

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August 23, 2016



Wild Plum